



SP-15-00052: A site plan for a building addition and expansion of a parking area for Sunset Hill Elementary School located at 901 Schwarz Rd. Submitted by Gould Evans, for the Unified School District #497, property owner of record.

ADMINISTRATIVE DETERMINATION: The Planning Director approves the above-described Site Plan subject to the following conditions:

1. Provision of a site plan performance agreement.
2. City Commission approval of the use of Right of Way agreement for angled parking on Schwarz Road and bus parking on W. 9th Street.
3. Applicant shall provide a revised site plan that includes the following notes and changes:
 - a. A pedestrian easement shall be provided for sidewalks on private property along Schwarz Road. Note shall include recorded deed book and page reference.
 - b. Provide landscaping buffer on the east side of the parking area. Planting may be at a reduced height to address site security but shall be sufficient to screen east-facing headlights.
 - c. Ground mounted and rooftop mechanical equipment shall be screened from view of adjacent properties and from street rights-of-way in conformance with Section 20-1006 of the Land Development Code.
 - d. Show property line on the main site plan page.
 - e. Delete reference to New Jersey Street on the site plan.

ASSOCIATED CASES

- SP-5-33-96: Sunset Hill Elementary
- SP-13-00-00237: Sunset Hill Elementary

KEY POINTS

- The application represents the construction of a 50,094 sq. ft. building addition with interior and site renovations.
- The proposal meets the definition of a major development project, as defined in Section 20-1305(3). As such, full compliance with all City Codes, including the standards of the Land Development Code is required for the entire site, unless otherwise determined by the Planning Director to be waived for good cause shown by the applicant.

PLANS AND STUDIES REQUIRED

- *Traffic Study* – Not required.
- *Downstream Sanitary Sewer Analysis* – Submitted and accepted.
- *Historic Review Standards* – Not required for this application.
- *Drainage Study* – Submitted and accepted.
- *Retail Market Study* – Not required for this application.

- *Alternative Compliance* – Not required for this application.

COMMUNICATIONS RECEIVED

1. None

GENERAL INFORMATION

Current Zoning and Land Use GPI (General Public and Institutional Use) District, *School*

Surrounding Zoning and Land Use To the north, east, south and west: RS7 (Single-Dwelling Residential) District, *Detached Dwellings*.

Legal Description: WEST JUNIOR HIGH/SUNSET HILL SCHOOL ADD REPLAT OF BLOCKS FOUR, FIVE & SIX & PORTION OF SCHWARZ ROAD RIGHT-OF-WAY IN SUBDIVISION OF TRACT "A" SCHWARZ ACRES BLOCK SIX OF SCHWARZ ACRES NUMBER TWO & A TRACT OF LAND IN NW 1/4 35-12-19 BLK 1 LT 1

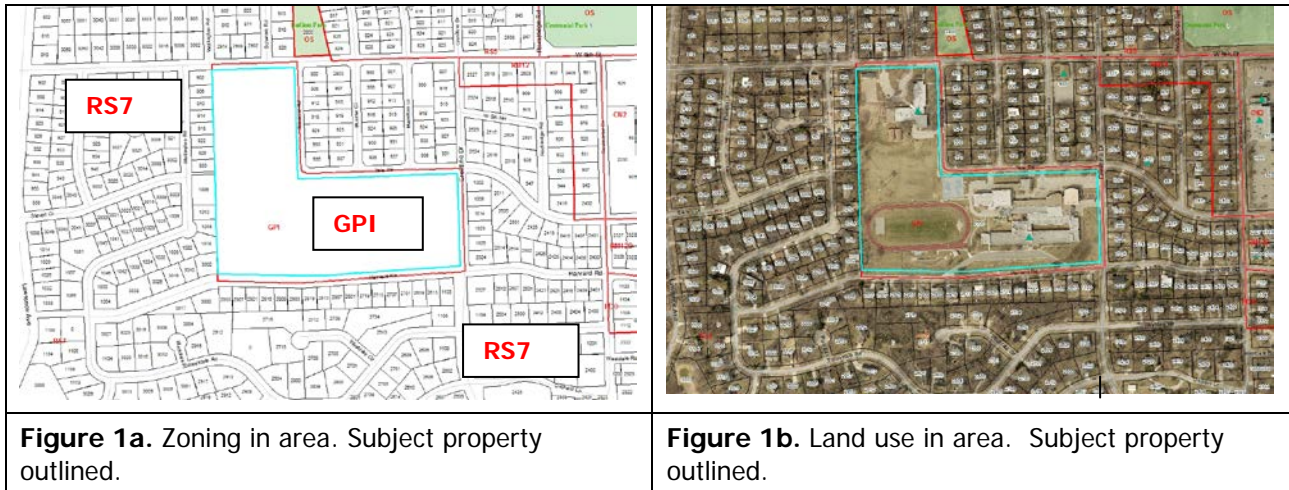


Figure 1a. Zoning in area. Subject property outlined.

Figure 1b. Land use in area. Subject property outlined.

SITE SUMMARY

	Existing <i>School</i>	Proposed <i>School</i>	Change
Land Use:			
Land Area (sq. ft.):	262,231 sq. ft.	262,231 sq. ft.	0
Total Impervious Area (sq. ft.):	68,389 sq. ft.	117,176 sq. ft.	+48,787
% Impervious:	26 %	45%	18%
Total Pervious Area (sq. ft.):	193,842 sq. ft.	145,055 sq. ft.	-48,787

SUMMARY OF REQUEST

The project includes a 50,094 sq. ft. building addition that will contain new classrooms, an interior remodel of the existing structure, the relocation and construction of a new 35 space parking lot and the addition of two angled parking areas on Schwarz Rd for an additional 20 parking spaces. The building addition will be located on the northwest, southwest and southeast

sections of the building, and the new parking area will be relocated and expanded to the south. There will also be new sidewalks constructed to provide access to the site and interior pedestrian access to the building.

PARKING SUMMARY

<i>Use</i>	<i>Parking Requirements</i>	<i>Spaces required</i>	<i>Spaces Provided</i>
School, Grades K-9	Auto: 1 per 1.5 teachers and employees	60 staff/1.5 = 40 spaces	52
	Bicycle: 1 per 5 students	684/5 = 137 spaces	70*
	ADA: 2 Auto, 1 Van	2 Auto, 1 Van	2 Auto, 1 Van

*An administrative waiver for a reduction of bicycle parking is approved by the Planning Director. This is discussed on Page 4 of the staff report.

Findings

Per Section 20-1305, staff shall first find that the following criteria have been met:

1) The Site Plan shall contain only platted land;

This property is platted as Lot 1, of Sunset Hill School Addition.

2) The site plan shall comply with all standards of the City Code, this Development Code and other adopted City policies and adopted neighborhood or area plan;

DIMENSIONAL REQUIREMENTS

The property is located within the GPI District which requires the following minimum setbacks:

- Front: 40 ft. when across street from R (Residential) District
- Side: 40 ft. when abutting R District; 15 ft. otherwise
- Rear: 40 ft. when abutting R District; 15 ft. otherwise
- Parking: 15 ft. from right-of-way; 10 ft. from residential lot line

The proposed building addition will be constructed at the rear and northwest corner of the existing building and will be situated well within the setback requirements.

The site coverage will be approximately 15% building coverage with the total of 31% impervious coverage; this is compliant with Code requirements which permit a maximum of 65% lot coverage and 75% impervious coverage in the GPI District.

LANDSCAPING AND SCREENING

Per Section 20-1004, parking lot perimeter landscaping standards apply to off-street parking lots containing 5 or more off-street parking spaces. A landscaping plan is included with the project that will add 6 additional street trees along Schwarz Road and 4 additional street trees along 9th Street. 22 trees are proposed in the parking lot area. A landscaping buffer along Schwarz Road is required to reduce the impact of headlights on the residential neighborhood to the east of the parking area. The screening may be provided at a reduced height to address site security concerns expressed by the District.

Ground mounted and rooftop mechanical equipment shall be screened from view of adjacent properties and from street rights-of-way in conformance with Section 20-1006 of the Land Development Code.

LIGHTING

A point-by-point illumination array lighting plan for the parking lot has been provided. Full cut off building lights will be installed at the building addition entrances. Per a note on the site plan, the fixtures will be shielded to prevent glare off-site. Specifications have been provided for parking lot lighting fixtures. Light fixtures shall be compliant with Section 20-1103 of the Land Development Code.

FLOODPLAIN

The subject property is not located in the regulatory floodplain.

3) The proposed use shall be allowed in the district in which it is located or be an allowed nonconforming use;

No new use is being proposed. The existing use, *School*, is a permitted use in the GPI District.

4) Vehicular ingress and egress to and from the site and circulation within the site provides for safe, efficient and convenient movement of traffic not only within the site but on adjacent roadways as well and shall also conform with adopted corridor or access management policies and;

Vehicular access to this site is provided from Schwarz Road and 9th Street. The parking area is to be relocated and expanded to the south portion of the site. This parking area takes access off Yale Road and Schwarz Road. Angled parking will also be located on the west side of Schwarz Road. An executed use of Right of Way agreement for the parking along Schwarz Road and the bus parking on West 9th Street will require City Commission approval. There are 35 spaces in the proposed parking area and an additional 20 proposed along Schwarz Road for a total of 55 parking spaces. A minimum of 40 parking spaces are required. There will also be new sidewalks constructed to provide a safe connection between the parking areas and the school. An additional gated access point off 9th Street will provide delivery and fire access to the site.

Bicycle parking is required at a rate of 1 space for 5 occupants. The school district has requested a waiver to reduce the requirement for bicycle parking to half the 683 occupants. For safety reasons, grades K through 2 are not permitted to ride their bicycles to school due to the close proximity of West 9th Street. They district is requesting a requirement for bicycle parking be based on 342 occupants which represents the number that could potentially ride bicycles to school. Based on this calculation the required bicycle parking would be reduced to 70 spaces. The planning director has approved this waiver.

5) The site plan provides for the safe movement of pedestrians within the site;

There are existing sidewalks along the west side of Schwarz Road and the both sides of 9th Street. These sidewalks tie into existing surrounding sidewalks in the neighborhood. The project will add new sidewalks that provide a connection between the neighborhood to the west and the school and an improved crosswalk at 9th St. and Schwarz Road. New sidewalks from all parking areas will also be provided. Sidewalks along the parking on Schwarz Road will be located on school property. The applicant will provide a pedestrian easement by separate instrument for these areas of sidewalk. Existing sidewalks will be extended and improved to complete connectivity throughout the site. These sidewalks improve safety for both the pedestrian walking to the school, and to the motorist walking from their parked vehicle to the building.

Conclusion

The Planning Director approves Site Plan SP-15-00078 subject to the following conditions.

1. Provision of a site plan performance agreement.
2. City Commission approval of the use of Right of Way agreement for angled parking on Schwarz Road and bus parking on W. 9th Street.
3. Applicant shall provide a revised site plan that includes the following notes and changes:
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