

GENERAL NOTES

- EXISTING ZONING: GPI
- PROPOSED ZONING: GPI
- CURRENT USE: ELEMENTARY SCHOOL
- PROPOSED USE: ELEMENTARY SCHOOL
- PROPOSED ASPHALT PAVEMENT IMPROVEMENTS SHALL MEET OR EXCEED CITY OF LAWRENCE MINIMUM STANDARDS.
- PROPOSED CONCRETE PAVEMENT TO BE 4" PORTLAND CEMENT CONCRETE ON COMPACTED SUBGRADE UNLESS OTHERWISE NOTED.
- WALL MOUNTED LIGHTING SHALL BE LOCATED AT BUILDING NEW BUILDING ENTRANCES. ALL LIGHTING SHALL BE SHIELDED TO PREVENT GLARE OFF-SITE. THE CITY OF LAWRENCE SHALL NOT BE RESPONSIBLE FOR DAMAGE TO PAVEMENT DUE TO THE WEIGHT OF REFUSE VEHICLES.
- THIS SITE PLAN HAS BEEN DESIGNED TO COMPLY WITH THE PROVISIONS OF THE AMERICANS WITH DISABILITIES ACT ACCESSIBILITY GUIDELINES (ADAAG) FOR BUILDING AND FACILITIES, APPENDIX A TO 28 CFR PART 36.
- ACCESSIBLE SPACES ARE TO BE SIGNED AND STENCILED PER ORDINANCE 20-912(d).
- PER SECTION 20-1006(b): EXTERIOR GROUND-MOUNTED OR BUILDING-MOUNTED EQUIPMENT INCLUDING, BUT NOT LIMITED TO, MECHANICAL EQUIPMENT, UTILITIES BOXES, AND METERS, SHALL BE FULLY SCREENED FROM VIEW OF ADJACENT PROPERTIES AND FROM STREET RIGHTS-OF-WAY (AS MEASURED 5 FEET ABOVE GROUND LEVEL). SCREENING SHALL BE IN THE FORM OF LANDSCAPE PLANTINGS OR AN ARCHITECTURAL TREATMENT COMPATIBLE WITH THE ARCHITECTURE OF THE PRINCIPAL.
- ISSUANCE OF THE FINAL OCCUPANCY PERMIT FOR BUILDING SHALL NOT BE COMPLETED UNTIL ALL PUBLIC IMPROVEMENTS FOR THIS SITE ARE COMPLETED.
- A CITY OF LAWRENCE RIGHT-OF-WAY PERMIT SHALL BE REQUIRED FOR THE CONSTRUCTION OF THE ANGLED PARKING OF NEW JERSEY STREET.
- CONTIGUOUS CONCRETE CURBS AND GUTTER INDICATED ON NEW JERSEY STREET SHALL BE CONSTRUCTED PER CITY OF LAWRENCE STANDARD DETAIL CURBS AND GUTTER THROUGH DRIVEWAYS AND ACCESS RAMPS (TYPE GC-0).
- A PEDESTRIAN EASEMENT SHALL BE REQUIRED FOR THE PORTION OF THE PUBLIC SIDEWALK LOCATED ON SCHOOL PROPERTY.
- ALL CONCRETE PAVEMENT IN CITY RIGHT-OF-WAY SHALL COMPLY WITH CITY OF LAWRENCE STANDARD DETAIL CURBS AND GUTTER THROUGH DRIVEWAYS AND ACCESS RAMPS (TYPE GC-0).
- THE DETENTION BASIN WILL BE PRIVATELY OWNED AND MAINTAINED. THE LAND OWNER IS RESPONSIBLE FOR THE MAINTENANCE OF THE DETENTION BASIN. FAILURE TO MAINTAIN THE DETENTION BASIN WILL RESULT IN THE LOSS OF STORMWATER DETENTION CREDIT. THE DETENTION BASIN WILL REMAIN FREE OF ANY NATURAL OR NON-NATURAL STRUCTURAL OR VEGETATIVE BARRIERS (INCLUDING BUT NOT LIMITED TO TREES, SHRUBBERY, BERMS, FENCES AND WALLS).

ADDITIONAL NOTES

- MANUAL DOOR ACTUATORS: ALUMINUM POST WITH PUSH PLATE, HARDWARE, 4"D x 6"W x 40" HT. POWDER COAT PAINTED CLEAR. INSTALLATION CRITERIA: ANSI 156.10, 156.15. INSTALL 48" FROM WALL AND OUT OF DOOR TRAVEL. IN CONCRETE WALK, FACE PLATE STANDARD, MOUNTED 30" ABOVE GRADE. TORXAY TECHNOLOGIES ACTIVATOR IS STANDARD OF DESIGN.
- INCLUDE ADDITIONAL ALLOWANCE FOR FOUR ADDITIONAL PARKING STALLS IN BASE BID. ALLOWANCE TO BE DEDUCTED IN SCOPE ON ALTERNATE 2 & 3.
- ALTERNATE #1 LIMESTONE SEATWALLS: GRADE A HARDNESS, FREE OF CRACKS AND CONSISTENT SIZE AND FORM. 18" TALL, 18" WIDE, 48"-72" LONG. QUARRY DRILL MARKS ACCEPTABLE. CORNERS TO BE CRISP. FIT BETWEEN BOULDERS MUST BE TIGHT. BOULDERS MUST BE APPROVED BY ARCHITECT BEFORE INSTALLATION.
- PROPOSED ASPHALT PAVEMENT IMPROVEMENTS SHALL MEET OR EXCEED CITY OF LAWRENCE MINIMUM STANDARDS AND KDOT BMD-2 AND KDOT BMD-3B. REFER TO GEOTECHNICAL REPORT REQUIRING 6" DEPTH OF SURFACE & 9" BASE FOR PARKING SPACES AND 7.5" DEPTH (2" SURFACE & 5.5" BASE) FOR DRIVE AISLES.
- PROPOSED CONCRETE PAVEMENT TO BE 4" PORTLAND CEMENT CONCRETE ON COMPACTED SUBGRADE UNLESS OTHERWISE NOTED. HEAVY DUTY AREAS AT THE DUMPSTER PAD (AND ADJOINING ACCESS PAVEMENT, DRIVE APRONS, STREET GUTTERS AWAY FROM CURBS AND AT FIRE LANE AND TRUCK DELIVERY AREAS SHALL BE 8" THICK.
- ADA PARKING AND ACCESS AISLES TO BE 2% SLOPE OR LESS. PAINT ACCESSIBLE SYMBOLS IN PARKING STALL PER ADA REQUIREMENTS.
- ALL DIMENSIONS TAKEN FROM FACE-OF-CURB
- FLAG POLE: 30" HT. ALUM. FINISH, NO BRASS TOP
- SPECIALTY CONCRETES: TOPCAST 50 WATER-BASED TOP-SURFACE RETARDER, CRUSHED GRANITE AGGREGATE, 3/4" SIZE (HUNT MARTIN #57-R7 STONE OR SIMILAR).



© 2014 Gould Evans Associates, LC
kansas city • lawrence • phoenix
san francisco • tampa
new orleans

owner:
USD 497
110 McDonald Drive
Lawrence, Kansas 66044
785.832.5016
www.usd497.org

architect:
Gould Evans Associates
706 Massachusetts Street
Lawrence, Kansas 66044
785.330.7054
www.gouldevans.com

structural engineer:
Bob D Campbell
4388 Bellevue Ave
Kansas City, Missouri 64111
816.531.4144
www.bdc-engrs.com

map engineer:
Smith & Boucher
25551 W Valley Pkwy #200
Olathe, Kansas 66061
913.345.2127
www.smithboucher.com

civil engineer:
Landplan Engineering, PA
1310 Wakarusa Drive
Lawrence, KS 66049
785.843.7530



SUNSET HILL ELEMENTARY SCHOOL

901 Schwarz Road
Lawrence, KS 66049-2664

- 1 Addendum #3 11/5/2014
- 2 PR#003 3/6/2015
- 3 City Comments 5/18/2015

PROPERTY SURFACE SUMMARY

	Existing Summary	After Project Completion
Total Buildings	1	1
Total Pavement	0.82 Acres	1.54 Acres
Total Impervious	1.57 Acres	2.69 Acres
Total Pervious	4.45 Acres	3.33 Acres
Total Property Area	6.02 Acres	6.02 Acres

PARKING SUMMARY

Parking Stalls	42 Stalls (34 staff / 1.5 = 23 req.)	52 stalls (60 staff / 1.5 = 40 req.)
Accessible Stalls	3 (1 / 2 Van / Auto)	3 (1 / 2 Van / Auto)
Bike Parking	20 spots	40 spots

Approved and Released

Case No. _____
Approval Date: _____
Release Date: _____
Planner: _____
City of Lawrence
Douglas County
Asst./Director: _____

Site Plan	A1
1" = 30'-0"	

Layout & Materials Plan

AS100

CONSTRUCTION DOCUMENTS

EXISTING TREE TO REMAIN

NEW 2" TREE

9TH STREET

ADDITION

EXISTING BUILDING

EXISTING BUILDING

ADDITION

ADDITION

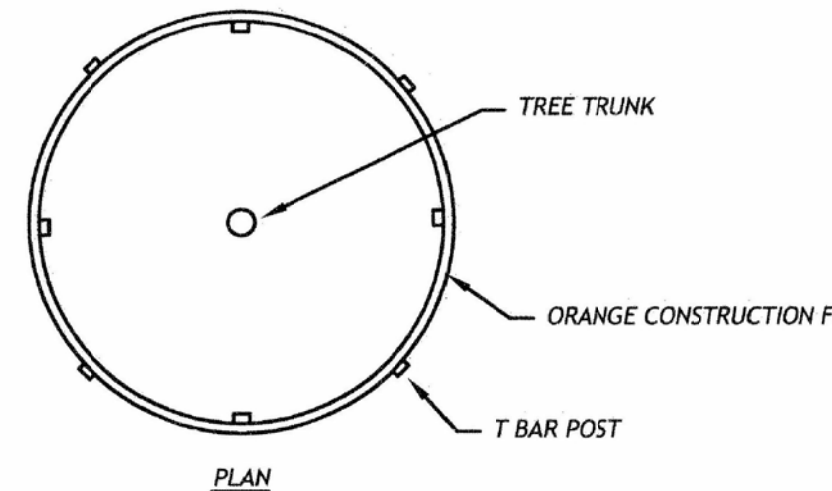
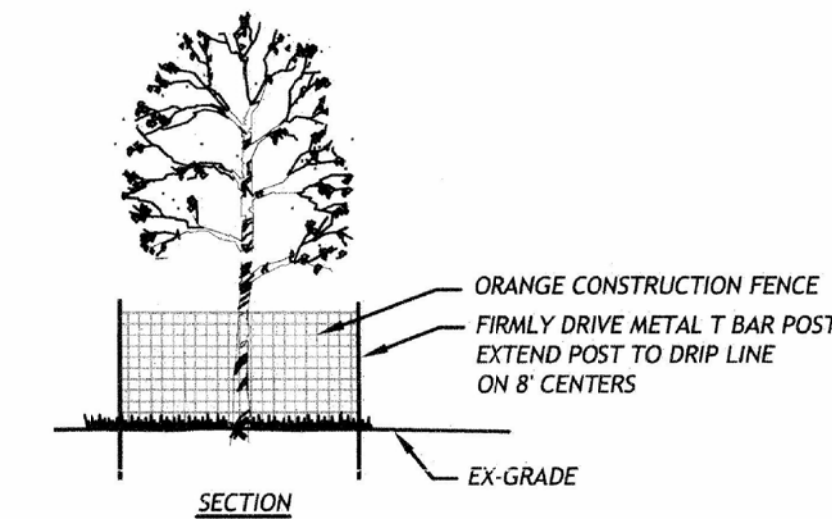
SCHWARZ ROAD

YALE ROAD

PLANTING NOTES:

- REFER TO SPECIFICATIONS FOR ADDITIONAL LANDSCAPE REQUIREMENTS.
- PRIOR TO BID SUBMISSION, AND PRIOR TO COMMENCEMENT OF LANDSCAPE INSTALLATION WORK, THE LANDSCAPE CONTRACTOR SHALL REVIEW IN DETAIL, AND BE VERY FAMILIAR WITH, THE PLANS AND SPECIFICATIONS. DEVIATIONS FROM THE PLANS AND SPECIFICATIONS ARE ABSOLUTELY NOT ALLOWED UNLESS AUTHORIZED IN WRITING BY THE LANDSCAPE ARCHITECT. LANDSCAPE INSTALLATION WORK NOT CONFORMING TO PLANS AND SPECIFICATIONS SHALL BE CORRECTED BY THE LANDSCAPE CONTRACTOR PRIOR TO PAYMENT FOR SUCH WORK.
- SUBSTITUTIONS SHALL NOT BE ALLOWED UNLESS AUTHORIZED IN WRITINGS BY LANDSCAPE ARCHITECT PRIOR TO BID SUBMITTAL. AFTER THE BID IS AWARDED, IT WILL BE REQUIRED THAT ALL SPECIFIED AND/OR APPROVED SUBSTITUTIONS SHALL BE INSTALLED BY CONTRACTOR WITH NO EXCEPTIONS.
- PRIOR TO BID SUBMISSION AND PRIOR TO COMMENCEMENT OF LANDSCAPE INSTALLATION WORK, THE LANDSCAPE CONTRACTOR SHALL TOUR AND CAREFULLY REVIEW THE PROJECT SITE. THE LANDSCAPE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT OF SITE CONDITIONS OR CHARACTERISTICS THAT WILL PREVENT LANDSCAPE INSTALLATION PER THE PLANS AND SPECIFICATIONS. NOTIFICATION OF UNSUITABLE CONDITIONS OR CHARACTERISTICS AFTER BIDDING, AFTER COMPLETION OF LANDSCAPE WORK, OR DURING THE WARRANTY PERIOD, SHALL NOT BE RECEIVED OR CONSIDERED BY THE LANDSCAPE ARCHITECT OR OWNER.
- PRIOR TO COMMENCEMENT OF ANY WORK, THE LANDSCAPE CONTRACTOR SHALL VERIFY LOCATIONS AND DEPTHS OF ALL UNDERGROUND UTILITIES EXISTING WITHIN THE PROJECT SITE. THE LANDSCAPE CONTRACTOR WILL BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES TO EXISTING UTILITIES RESULTING FROM LANDSCAPE INSTALLATION CONSTRUCTION.
- LANDSCAPE CONTRACTOR TO VERIFY AND COORDINATE ALL GRADES AND ELEVATIONS. CONTRACTOR SHALL BE RESPONSIBLE TO NOTIFY SITE EARTHWORK CONTRACTOR OF MAJOR DEFICIENCIES IN ELEVATIONS. LANDSCAPE CONTRACTOR SHALL VERIFY ALL GRADING AND DRAINAGE AS SHOWN ON CIVIL, AND NOTIFY OWNER'S REPRESENTATIVE IF SITE CONDITIONS DIFFER FROM PLANS. ALL AREAS SHALL HAVE POSITIVE DRAINAGE.
- ALL TREES, SHRUBS, AND GROUND COVER BEDS ARE TO RECEIVE MIN. 3" OF HARDWOOD MULCH, MEASURED AFTER SETTLEMENT HAS OCCURRED.
- COORDINATE LOCATIONS OF PLANT MATERIAL WITH OTHER SITE ELEMENTS INCLUDING SIGNAGE AND LIGHTING. IF LOCATIONS OF SITE ELEMENTS VARY FROM PLAN, NOTIFY OWNER'S REPRESENTATIVE AND ADJUST LANDSCAPE PLANTINGS ACCORDINGLY TO ACHIEVE THE INTENDED EFFECT.
- THE LANDSCAPE CONTRACTOR SHALL FOLLOW ALL LOCAL, COUNTY, AND STATE CODES THAT PERTAIN TO LANDSCAPE INSTALLATION, AND SHALL NOTIFY THE LANDSCAPE ARCHITECT REGARDING ANY DISCREPANCIES BETWEEN THESE CODES AND THE PLANS AND SPECIFICATIONS.
- RIVER ROCK ALONG WEST SIDE OF GYM TO BE 2" - 4" VARIED SIZE, SMOOTH ROUNDED RIVER ROCK. COLORS IN GRAY FAMILY. SUBMIT TO ARCHITECT FOR APPROVAL.

Tree Protection



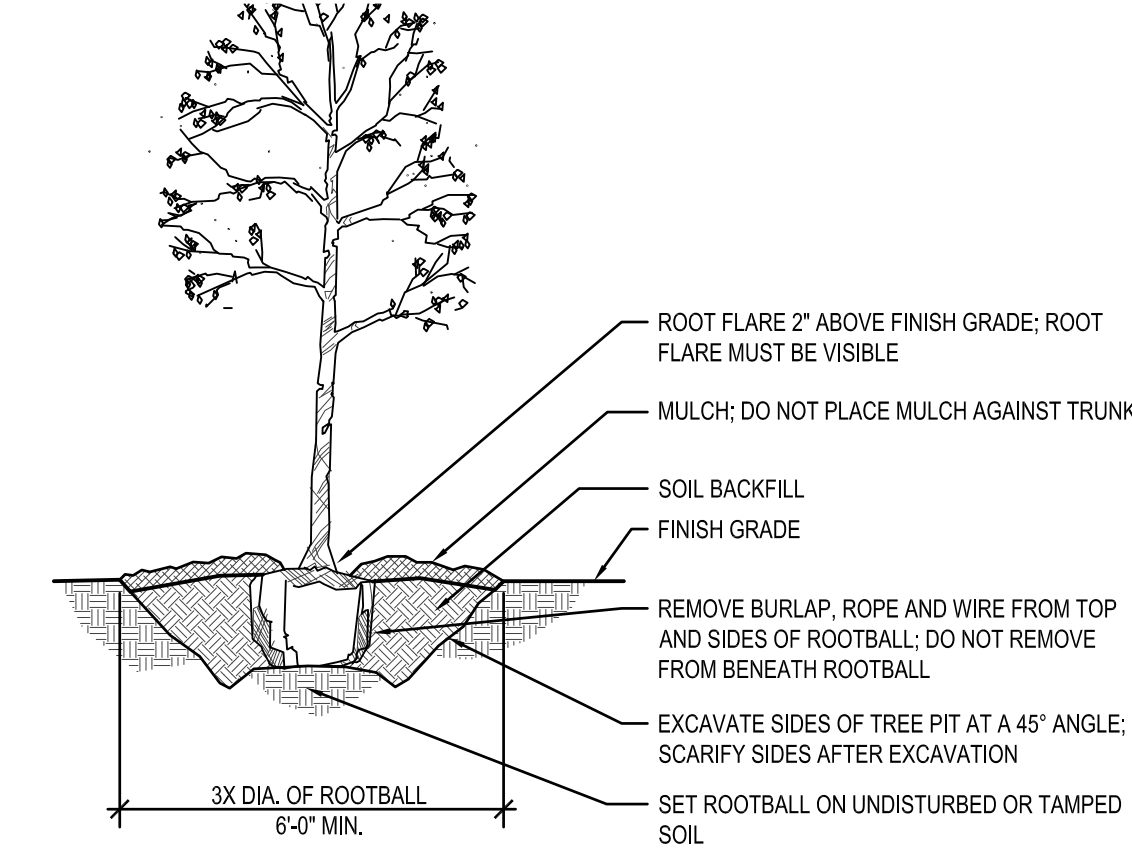
Notes for Tree Protection

- Tree protection fencing shall be installed as shown on the plan and approved by the City Forester prior to any land disturbance or issuance of permit. At no time can the fence be moved or relocated.
- Fencing shall remain erect throughout all phases of the project and only be removed once final landscape is installed.
- No disturbance shall occur within the fenced area of tree protection. This includes but is not limited to: grading, filling, trenching, storage of construction material, vehicle parking, concrete washout, etc.
- Trees approved for removal shall be removed in a manner that does not impact trees to be preserved.
- Pruning to provide clearance for structures, vehicles or equipment shall take place before any construction begins.
- All finished pruning must be done according to recognized and approved industry standards, ANSI A-300.
- Any roots exposed during construction shall be cut back flush with the soil. Backfill root areas with quality topsoil as soon as possible.
- No landscape topsoil greater than four (4) inches shall be permitted within the drip-line or protected zone of trees.

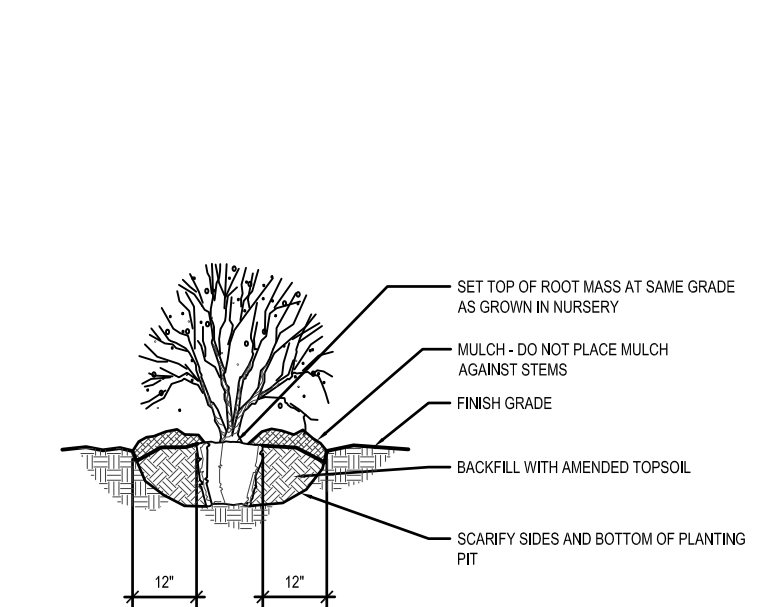
Plant Schedule

BOTANICAL NAME	COMMON NAME	SIZE (MIN)	CONTAINER	REMARKS
Deciduous Trees				
TA - <i>Tilia americana</i> 'Wandell'	Legend American Linden	2-1/2" Caliper	B&B	Well Branched, Strong leader
AT - <i>Acer truncatum</i>	Shantung Maple	2-1/2" Caliper	B&B	Well Branched, Matching
UP - <i>Ulmus x 'Emerald Sunshine'</i>	Emerald Sunshine Elm	2-1/2" Caliper	B&B	Well Branched, Strong leader
QM - <i>Quercus macrocarpa</i>	Bur Oak	2-1/2" Caliper	B&B	Well Branched, Strong leader
AS - <i>Acer saccharum</i> 'Autumn Splendor'	Caddo Sugar Maple	2-1/2" Caliper	B&B	Well Branched, Strong leader
AG - <i>Acer griseum</i>	Paperbark Maple	2-1/2" Caliper	B&B	Well Branched, Matching
Shrubs, Grasses & Perennials				
BX - <i>Buxus</i> 'Green Velvet'	Green Velvet Boxwood	24" Ht. Min.	5 Gallon	Full, Matching
SH - <i>Sporobolus heterolepis</i>	Prairie Dropseed	n/a	3 Gallon	Full in pot, Matching
JC - <i>Juniper</i> 'Broadmoor'	Broadmoor Juniper	24" Ht. Min.	3 Gallon	Full in pot, matching

Tree Planting Detail



Shrub Planting Detail



gouldevans
© 2014 Gould Evans Associates, LC

kansas city • lawrence • phoenix
san francisco • tampa
new orleans

owner:
USD 497
110 McDonald Drive
Lawrence, Kansas 66044
785.832.5016
www.usd497.org

architect:
Gould Evans Associates
706 Massachusetts Street
Lawrence, Kansas 66044
785.330.7054
www.gould-evans.com

structural engineer:
Bob D Campbell
4338 Bellevue Ave
Kansas City, Missouri 64111
816.531.4144
www.bdc-engrs.com

map engineer:
Smith & Boucher
25551 W Valley Pkwy #200
Olathe, Kansas 66061
913.345.2127
www.smithboucher.com

civil engineer:
Landplan Engineering, PA
1310 Wakarusa Drive
Lawrence, KS 66049
785.843.7530

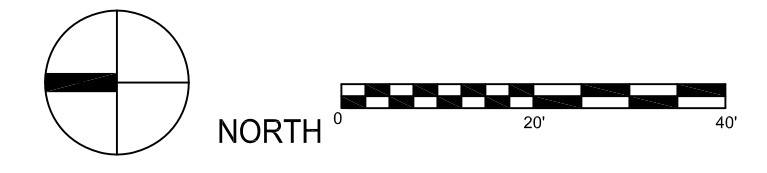


**SUNSET HILL
ELEMENTARY
SCHOOL**

901 Schwarz Road
Lawrence, KS 66049-2664

- 1 Addendum #3 11/5/2014
- 2 PR#003 3/6/2015
- 3 City Comments 5/18/2015

Project No 01130040.06
Date: October 03, 2014
Sheet:



Site Plan AS1
1" = 30'-0"

Approved and Released

Case No: _____
Approval Date: _____
Release Date: _____
Planner: _____ of _____ Sheets
Asst./Director: _____

City of Lawrence
Douglas County
Kansas, USA

Planting Plan
AS300
CONSTRUCTION DOCUMENTS

FILE NAME: R:\20138002\CAD\Const\Site\38002C-GRAD.dwg LAST SAVED BY: Randy Ketzler SAVED DATE: 3/12/2015 11:09 AM PLOTTED: 3/12/2015 11:14 AM



SITE LAYOUT AND ELEVATION KEY

Point #	Northing	Easting	Elevation
1	242817.7686	2088058.4649	997.013
2	242812.4483	2088072.8125	997.808
3	242804.2407	2088078.0590	998.302
4	242800.2664	2088078.9781	998.406
5	242798.9966	2088079.1218	998.454
6	242773.7620	2088079.8220	999.436
7	242799.9669	2088068.9879	998.107
8	242803.9651	2088068.8691	998.027
9	242800.8251	2088058.9669	997.847
10	242804.4182	2088058.8513	997.727
11	242774.4436	2088099.8705	999.754
12	242799.0614	2088099.1108	999.034
13	242800.8709	2088099.1369	999.009
14	242804.8924	2088099.7929	998.952
15	242813.3774	2088104.5297	998.711
16	242819.6687	2088118.4844	998.330
17	242819.2678	2088170.7506	999.960
18	242817.8760	2088176.7364	1000.191
19	242813.7035	2088181.2483	1000.427
20	242808.4591	2088187.7833	1000.640
21	242807.6756	2088192.6139	1000.764
22	242808.4248	2088217.6027	1001.290
23	242809.1741	2088242.5915	1001.815
24	242809.9234	2088267.5802	1002.341
25	242810.6727	2088292.5690	1002.867
26	242811.7455	2088297.3640	1002.925
27	242817.2830	2088303.5040	1003.024
28	242821.6650	2088307.7583	1003.123
29	242823.3854	2088313.6183	1003.223
30	242825.2430	2088381.1890	1004.792
31	242780.4730	2088508.4553	1006.447
32	242756.0560	2088506.0851	1006.354
33	242744.4675	2088487.3206	1006.145
34	242639.4577	2088490.5296	1005.050
35	242650.5389	2088508.4741	1004.840
36	242648.9001	2088511.5240	1004.735
37	242641.5008	2088508.7274	1004.607
38	242637.6525	2088505.1696	1004.537
39	242631.9015	2088502.9545	1004.474
40	242531.9891	2088505.9455	1001.959
41	242528.3768	2088508.4657	1001.809
42	242522.7319	2088512.2411	1001.643
43	242515.4924	2088515.4431	1001.339
44	242514.4360	2088515.4747	1001.311
45	242510.0344	2088513.1040	1001.310
46	242498.6473	2088494.8540	1001.308
47	242804.4266	2088217.7226	1001.370
48	242800.5483	2088221.8407	1001.534
49	242803.5695	2088322.5965	1003.797
50	242803.8008	2088330.5932	1003.961

LEGEND

- CURB TRANSITION
- TYPE CG-3 CURB & GUTTER
- TOP OF CURB
- TOP OF PAVEMENT
- LOW POINT
- TOP OF STAIRS
- BOTTOM OF STAIRS

SITE LAYOUT AND ELEVATION KEY

Point #	Northing	Easting	Elevation
51	242806.4268	2088423.2377	1005.396
52	242800.4216	2088423.1386	1005.284
53	242800.5634	2088428.1410	1005.356
54	242806.5681	2088428.2220	1005.466
55	242807.4306	2088458.6491	1005.454
56	242800.0876	2088482.0853	1007.264
57	242817.0236	2088487.4657	1006.702
58	242804.8733	2088487.9131	1007.018
59	242804.7439	2088500.3199	1006.894
60	242780.9183	2088480.2040	1006.934
61	242772.7692	2088481.9809	1006.045
62	242722.5198	2088475.9857	1005.867
63	242714.6370	2088476.2291	1005.739
64	242714.8587	2088482.2227	1005.980
65	242636.0221	2088484.6318	1005.180
66	242628.4671	2088497.0548	1004.506
67	242594.9136	2088498.0592	1003.680
68	242588.9163	2088498.2388	1003.523
69	242535.0550	2088499.8513	1002.163
70	242526.6421	2088487.8394	1001.932
71	242721.2402	2088424.6821	1005.839
72	242720.4205	2088405.6228	1005.781
73	242723.4103	2088405.5308	1005.721
74	242721.1901	2088333.3506	1002.851
75	242718.1925	2088333.5043	1002.850
76	242676.3293	2088334.8289	1002.871
77	242672.3315	2088334.9617	1002.871
78	242673.0951	2088357.9428	1005.717
79	242663.7668	2088358.2528	1005.717
80	242620.8977	2088328.6663	1002.711
81	242632.7246	2088328.2734	1002.711
82	242690.9632	2088326.3382	1002.711
83	242702.9044	2088325.9414	1002.890
84	242732.2266	2088324.9871	1002.990
85	242737.2238	2088324.8010	1002.990
86	242737.0315	2088318.5493	1002.953
87	242743.0284	2088318.3551	1002.533
88	242742.3162	2088296.3666	1002.731
89	242736.3551	2088296.5597	1002.850
90	242730.0748	2088255.0127	1002.808
91	242733.9450	2088218.2058	1001.766
92	242743.9398	2088217.8821	1001.666
93	242742.3752	2088167.0166	1001.069
94	242727.3823	2088167.4778	1000.967
95	242642.5804	2088171.4644	1000.202
96	242622.8363	2088172.1192	999.952
97	242622.6793	2088157.7521	999.806
98	242622.2903	2088071.8854	998.390
99	242565.9733	2088073.4581	996.520

UNLESS A PROFESSIONAL SEAL WITH SIGNATURE AND DATE IS AFFIXED, THIS DOCUMENT IS PRELIMINARY AND IS NOT INTENDED FOR CONSTRUCTION, RECORDING PURPOSES OR IMPLEMENTATION

© 2014 Gould Evans Associates, LC

kansas city • lawrence • phoenix
san francisco • tampa • new orleans

owner:
USD 487
110 McDonald Drive
Lawrence, Kansas 66044
785.832.5016
www.usd487.org

architect:
Gould Evans Associates
708 Massachusetts Street
Lawrence, Kansas 66044
785.330.7054
www.gould-evans.com

structural engineer:
Bob D Campbell
4338 Bellview Ave
Kansas City, Missouri 64111
785.531.4144
www.bdc-engrs.com

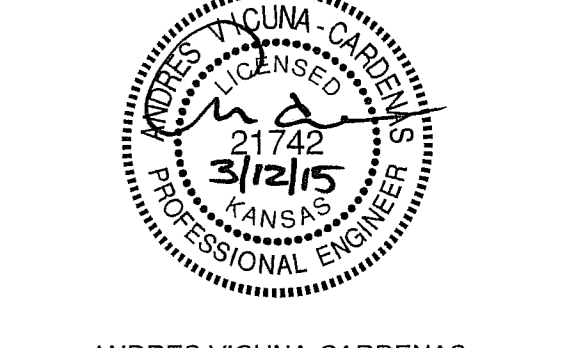
mvp engineer:
Smith & Boucher
2501 W Valley Pkwy #200
Olathe, Kansas 66061
913.345.2127
www.smithboucher.com

civil engineer:
Landplan Engineering, PA
1310 Wakarusa Drive
Lawrence, Kansas 66049
785.843.7530
www.landplan-pa.com

SUNSET HILL ELEMENTARY SCHOOL

901 Schwarz Road
Lawrence, KS 66049

Number	Revision Description	Date
1	Grading Plan PER SITE PLAN REVISIONS	2.27.15



ANDRES VICUNA-CARDENAS
KANSAS P.E. 21742

Project No: 0113-0040.04
Date: September 30, 2014
Sheet:

Grading Plan
C-300

CONSTRUCTION DOCUMENTS

Grading Plan
1" = 20'-0"

3/18/2014 4:45:47 PM

UNLESS OTHERWISE SPECIFIED, ALL DIMENSIONS AND NOTES SHALL BE IN FEET AND INCHES. THIS DOCUMENT IS PRELIMINARY AND IS NOT TO BE USED FOR CONSTRUCTION RECORDING PURPOSES OR FOR ANY OTHER PURPOSE.

© 2014 Gould Evans Associates, LC

owner:
USD 487
Lawrence, Kansas 66644
785.832.5070
www.usd487.org

architect:
Gould Evans Associates
708 Massachusetts Street
Lawrence, Kansas 66644
785.330.7354
www.gould-evans.com

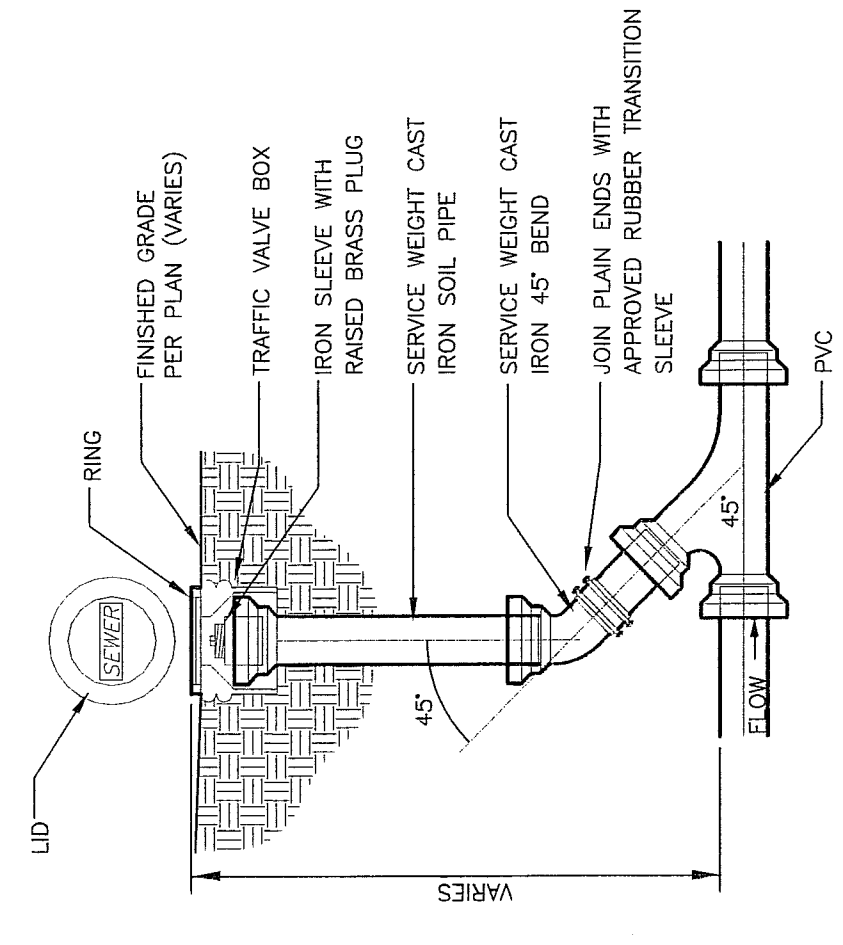
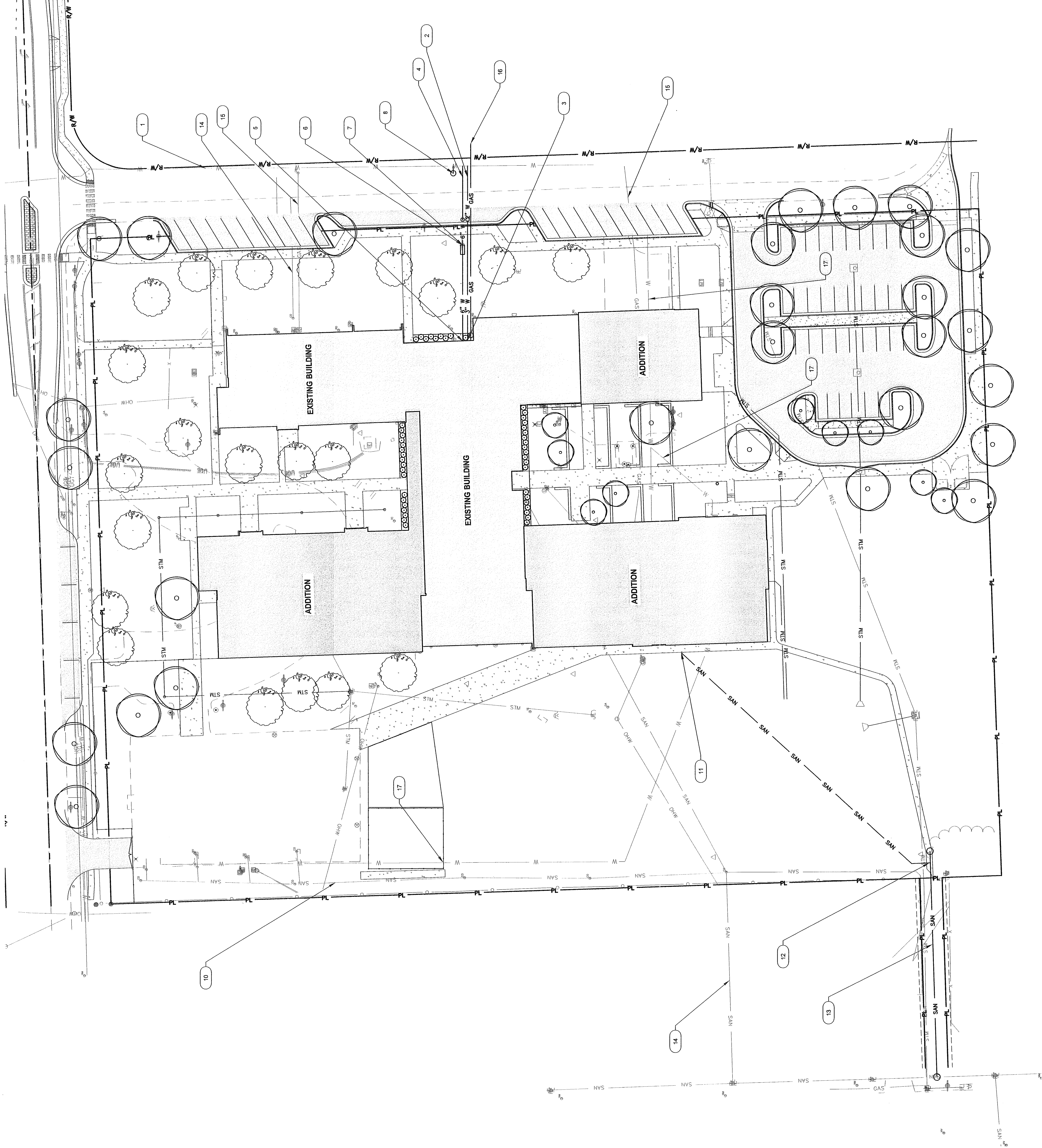
structural engineer:
Gould Evans Associates
4228 S. Delaware Ave.
Lawrence, Kansas 66644
www.gould-evans.com

mechanical engineer:
Smith & Boucher
1111 S. 10th Street, #200
Olathe, Kansas 66061
913.342.2127
www.smboucher.com

civil engineer:
Gould Evans Associates
1310 Weikens Drive
Lawrence, Kansas 66649
785.843.7350
www.gould-evans.com

KEYED NOTES:

1. EXISTING 8-INCH CAST IRON PUBLIC WATERLINE.
2. COORDINATE WITH CITY OF LAWRENCE UTILITY DEPARTMENT TO INSTALL 2-INCH DOMESTIC WATER TAP, APPROXIMATELY 30 LF 2" TYPE K COPPER DOMESTIC WATER SERVICE LINE AND CONNECTION. FIELD VERIFY THE EXACT LOCATION, SIZE AND DEPTH OF CONNECTION.
3. INSTALL APPROXIMATELY 180 LF 5-INCH TYPE K COPPER DOMESTIC WATER SERVICE LINE. REFER TO MECHANICAL AND PLUMBING DRAWINGS FOR CONNECTION TO BUILDING.
4. COORDINATE WITH CITY OF LAWRENCE UTILITY DEPARTMENT TO INSTALL 6-INCH FIRE PROTECTION TAP PER CITY STANDARDS. FIELD VERIFY THE EXACT LOCATION, SIZE AND DEPTH OF CONNECTION.
5. INSTALL APPROXIMATELY 110 LF 6-INCH C900 PVC FIRE PROTECTION LINE PER CITY STANDARDS. REFER TO MECHANICAL AND PLUMBING DRAWINGS FOR CONNECTION TO BUILDING.
6. COORDINATE WITH CITY OF LAWRENCE UTILITY DEPARTMENT TO PROVIDE DOUBLE CHECK VALVE BACKFLOW PREVENTION DEVICE INSIDE VAULT. REFER TO MECHANICAL AND PLUMBING DRAWINGS FOR CONNECTION TO BUILDING. FIELD VERIFY EXACT LOCATION.
7. COORDINATE WITH CITY OF LAWRENCE UTILITY DEPARTMENT TO PROVIDE PIV INDICATOR AS REQUIRED.
8. REFER TO SHEET C-500 FOR INSTALLATION OF FIRE HYDRANT ON EXISTING PUBLIC WATERLINE.
9. PROVIDE SAN SEWER CLEANOUTS AS REQUIRED TO FINISH GRADE. REFER TO THIS SHEET FOR DETAIL CLEANOUTS SHALL BE SUITABLE FOR PAVED AREAS. FIELD VERIFY EXACT LOCATIONS AND INVERTS.
10. EXISTING SANITARY SEWER SERVICE TO BE CAPPED AND ABANDONED.
11. INSTALL APPROXIMATELY 220 LF 6-INCH SCH. 40 FLUOROPOLYMER CHLORIDE PIPE (FPVC) SAN SEWER SERVICE LINE FL IN (PER MEP) = 981.50. SLOPE AT APPROX. 5.7% FOR APPROX. FL OUT = 981.50. REFER TO MECHANICAL AND PLUMBING DRAWINGS FOR CONNECTION TO BUILDING. FIELD VERIFY EXACT LOCATION AND ELEVATIONS.
12. COORDINATE WITH CITY OF LAWRENCE UTILITY DEPARTMENT TO CONNECT SERVICE TO PROPOSED SANITARY SEWER MAIN PER PUBLIC IMPROVEMENT PLANS 148742.
13. REFER TO CITY PROJECT #HSD12 FOR INSTALLATION OF PUBLIC SANITARY SEWER EXTENSION.
14. EXISTING SANITARY SEWER SERVICE TO REMAIN IN SERVICE. SANITARY LINE TO BE CAPPED AT THE PROPERTY LINE WEST OF SCHOOL.
15. COORDINATE WITH BLACK HILLS ENERGY TO ABANDON AND REMOVE EXISTING GAS SERVICE.
16. COORDINATE WITH BLACK HILLS ENERGY TO INSTALL NEW GAS SERVICE (4655 MBH PER MEP). REFER TO MECHANICAL DRAWINGS FOR CONNECTION TO BUILDING AND LOAD.
17. EXISTING WATER SERVICE TO BE CAPPED AND ABANDONED IN PLACE OR REMOVED.

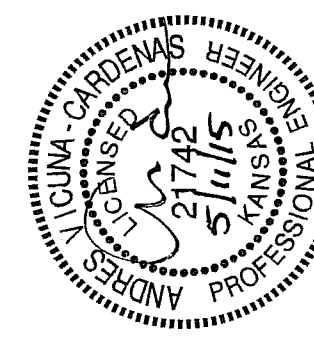


SANITARY SEWER CLEANOUT
NOT TO SCALE

**SUNSET HILL
ELEMENTARY
SCHOOL**

901 Schwartz Road
Lawrence, KS 66049

Number	Revision Description	Date
1	ADDENDUM 3	11-5-14
2	CITY UTIL. REVIEW	11-21-14
3	REVISED SITE PLAN	2-5-15
4	CITY REVIEW	4-7-15
5	COMMENTS	



ANDRES VICINA-CARDENAS
KANSAS P.E. 2742

Project No: 0115-0040.04
Date: October 10, 2014
Sheet:

Site Utility Plan
C-400

Site Utility Plan
1" = 30'-0"

CONSTRUCTION DOCUMENTS

10/10/14 12:28 PM

INVESTIGATIONAL, DESIGN, CONSTRUCTION AND AS-BUILT RECORDING PURPOSES. THIS DOCUMENT IS PRELIMINARY AND NOT TO BE USED FOR CONSTRUCTION, RECORDING PURPOSES OR AS-BUILT RECORDING.

© 2014 Gould Evans Associates, LC

kansas city • lawrence • phoenix
san francisco • sarasota • new orleans

owner:
USD #47
Lawrence, Kansas 66044
www.usd47.org

structural engineer:
Bob D Campbell
Kansas City, Missouri 64111
www.gould-evans.com

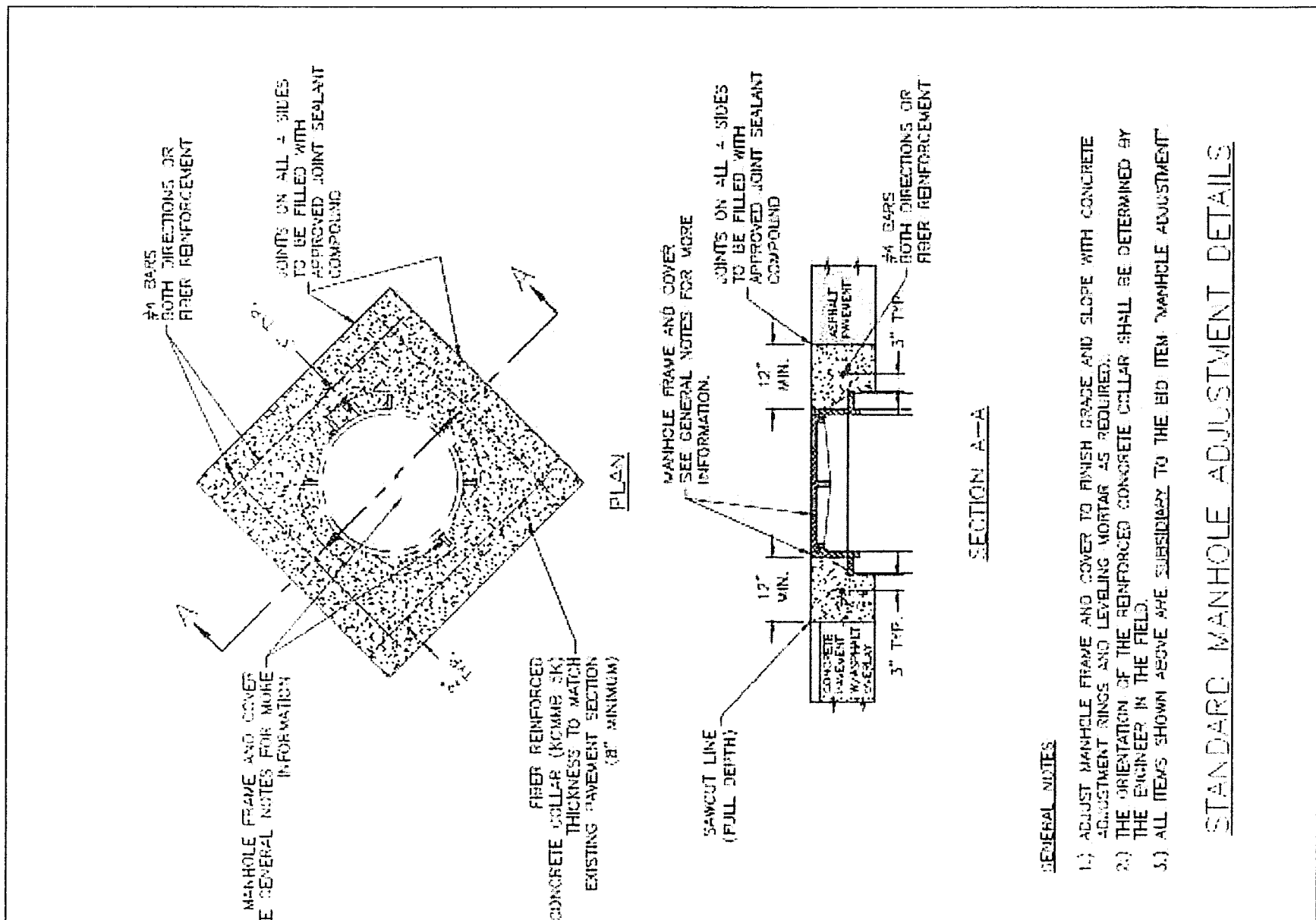
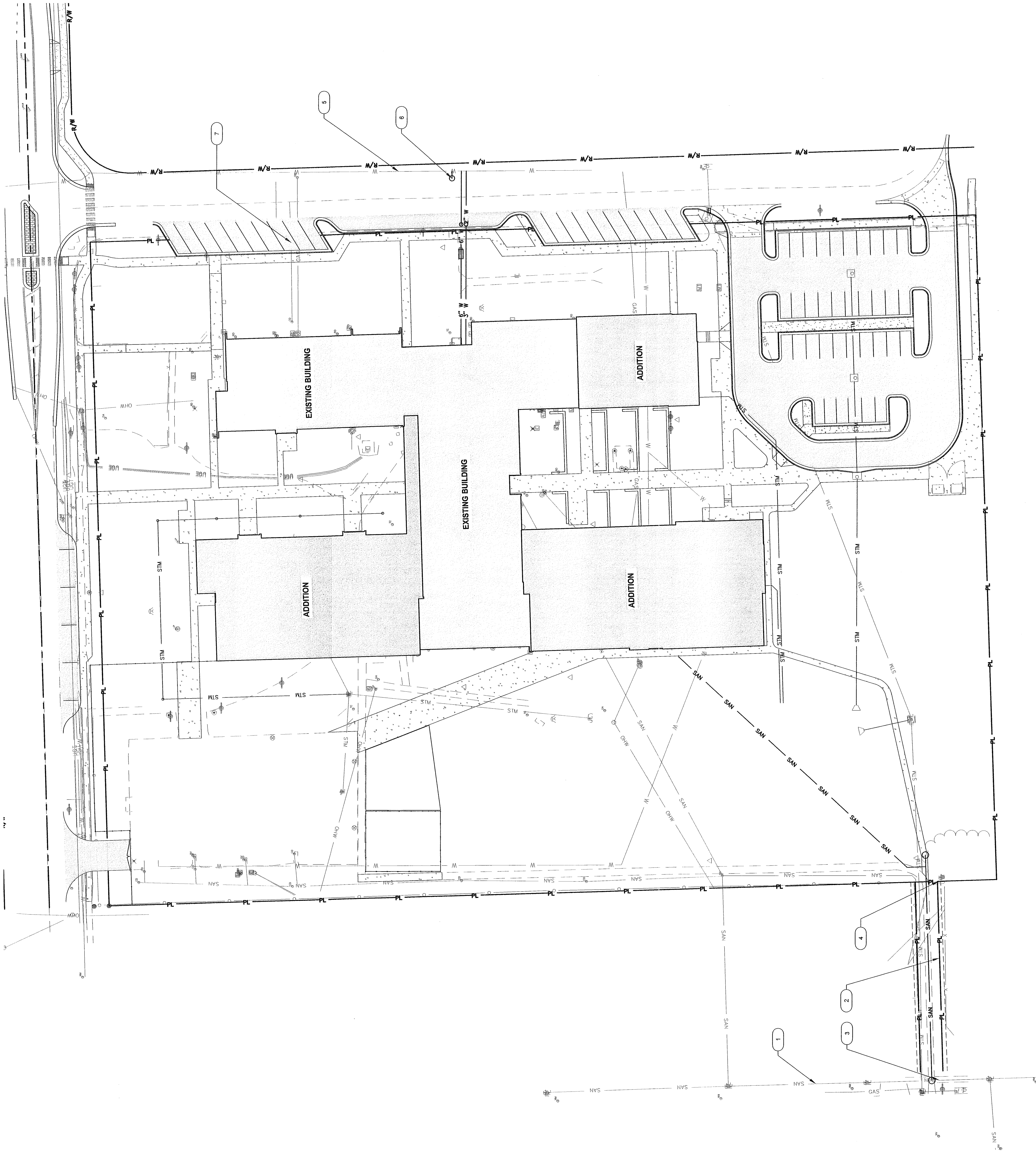
mechanical engineer:
Smith & Baucher
2501 W Valley Pkwy #200
Lawrence, Kansas 66049
www.smbaucher.com

civil engineer:
Lawrence, Kansas 66049
www.fandstein-ps.com

KEYED NOTES:

- 1 EXISTING 8-INCH PUBLIC SANITARY SEWER
- 2 INSTALL APPROXIMATELY 160 LF. 8" SANITARY SEWER MAIN EXTENSION AT 1.0% PER CITY OF LAWRENCE SPECIFICATIONS. APPROX. F.I. (M) = 963.2, APPROX. F.I. (E) = 964.8. FIELD VERIFY EXACT LOCATION AND ELEVATIONS. SEE DETAIL SHEET C-501.
- 3 COORDINATE WITH CITY OF LAWRENCE UTILITY DEPARTMENT TO SET NEW MANHOLE OVER EXISTING 8-INCH SAN. SEWER MAIN. FIELD VERIFY EXACT LOCATION AND INVERT ELEVATION. SEE DETAIL SHEET C-501.
- 4 INSTALL STANDARD MANHOLE APPROXIMATELY 20' DEEP. FIELD VERIFY EXACT LOCATION. SEE DETAIL SHEET C-501.
- 5 EXISTING 8-INCH CAST IRON PUBLIC WATER.
- 6 INSTALL STANDARD FIRE HYDRANT PER CITY OF LAWRENCE SPECIFICATIONS. LOCATE THE FIRE HYDRANT IN THE RIGHT-OF-WAY ON THE PROPERTY LINE BETWEEN 912 AND 918 SCHWARZ ROAD. FIELD VERIFY EXACT LOCATION. SEE DETAIL SHEET C-502.
- 7 EXISTING MANHOLE W/321219-48A SHALL BE ADJUSTED AS NEEDED PER DETAIL ON THIS SHEET.

NOTE: ALL WORK DETAILED AND LISTED ON THIS SHEET SHALL BE PERFORMED IN COMPLIANCE WITH THE CITY OF LAWRENCE SPECIFICATIONS 332500 AND 332900. REFER TO PUBLIC IMPROVEMENT PLANS, CITY PROJECT NUMBER 148012.



DETAIL FROM CITY OF LAWRENCE STANDARDS DETAILS FOR STREET REPAIR DETAILS FROM THE ENGINEERING DIVISION OF PUBLIC WORKS.

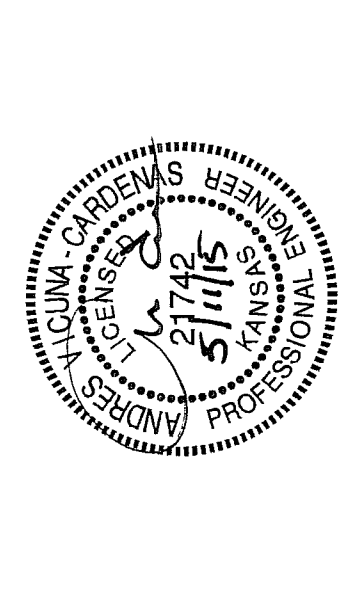
Utility Public Improvements
C-500

CONSTRUCTION DOCUMENTS

Project No: 0113-0040.04
Date: October 10, 2014
Sheet:

ANDRES VICUNA-CARDENAS
KANSAS P.E. 21742

901 Schwarz Road
Lawrence, KS 66049
Revision Description: ADDENDUM 3
Date: 11-5-14



Utility Public Improvements
1" = 30'-0"

18 17 16 15 14 13 12 11 10 9 8 7 6 5 4 3 2 1

A B C D E F G H J K L M N P