



# City of Lawrence

DAVID L. CORLISS  
CITY MANAGER

City Offices  
PO Box 708 66044-0708  
www.lawrenceks.org

6 East 6<sup>th</sup> St  
785-832-3000  
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CITY COMMISSION  
MAYOR  
ROBERT J. SCHUMM

COMMISSIONERS  
MICHAEL DEVER  
HUGH CARTER  
MIKE AMYX  
ARON E. CROMWELL

November 19, 2012

Patricia Sinclair  
331 Johnson Ave  
Lawrence, KS 66044

Dear Patricia,

This letter is a follow up to my 11/15/12 response to an email I received from you on 11/12/12 (copy enclosed).

**Request:** "Re: 1804 Barker, I definitely asked you about this and think I was told that I was too vague. Well, I think any inquiry you might have made may have prompted him to get a bldg. permit. I told you that he was working on it at the time of my request and had been for at least a month. At the end of Oct., he posted a big sign on a post in the front yard which had a lot of dark boxes of print and something that said temporary Oct. 24. Please provide details as he has demolished part of the house, virtually gutted the rest. I would like to know when it was applied for, when granted, when reviewed, etc. I am also interested in his disposition of what must have been hazardous materials."

**Response:** It appears that you are requesting building permit records for 1804 Barker from October 2012 to present. All records we possess which fit that description are enclosed.

**Request:** "Re: 1823 Barker. This house had a garage that was falling down, I don't know when it went down and was replaced. At a guess, I'd say it was after 2000. Please let me know."

**Response:** It appears that you are requesting building and demolition permit records for 1823 Barker from 2000 to present. All records we possess which fit that description are enclosed.

**Request:** "Re: 333 Johnson Ave., when was this property inspected for completion and are there additional permits requested/granted for new work?"

**Response:** If you have questions about the building permit records previously provided to you, please contact Barry Walthall, Building Codes Administrator, at (785) 832-3101. No new building permit records pertaining to this address were found.

Any response to this letter, including clarifications of your requests, should be submitted to me in writing. I hope that the records we have been able to provide are helpful.

Sincerely,

Jonathan Douglass  
City Clerk

enclosures



## Jonathan Douglass

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**From:** Pesinclair@aol.com  
**Sent:** Monday, November 12, 2012 4:51 PM  
**To:** Jonathan Douglass  
**Subject:** records request

**Follow Up Flag:** Follow up  
**Due By:** Monday, November 12, 2012 4:00 PM  
**Flag Status:** Flagged

Jonathan,

I have not had the chance to match everything that you have given me with my requests, but I know that I haven't gotten anything new since I picked up the packet on Oct. 22. I have been understandably busy with other things, but I need more in time to use it to prepare for Nov. 20 City Comm mtg. I believe that almost everything that I requested the last time was either said to be too vague, nonexistent, or already given to me. Here are a few tries.

Re: bldg and demolition permits. I think you sent me something for Tim Houser at 330 Johnson ave. that you had already sent. I am confused by some of it. He redid parts of his garage, making an overhang, installing a chimney, and other things that may have been deemed cosmetic. I can't say when. Also, it's not quite clear to me about his house. It seems to approve a cement porch with roof, but not sure about a lot of the rest.

Re: 1804 Barker, I definitely asked you about this and think I was told that I was too vague. Well, I think any inquiry you might have made may have prompted him to get a bldg. permit. I told you that he was working on it at the time of my request and had been for at least a month. At the end of Oct., he posted a big sign on a post in the front yard which had a lot of dark boxes of print and something that said temporary Oct. 24. Please provide details as he has demolished part of the house, virtually gutted the rest. I would like to know when it was applied for, when granted, when reviewed, etc. I am also interested in his disposition of what must have been hazardous materials.

Re: 1823 Barker. This house had a garage that was falling down, I don't know when it went down and was replaced. At a guess, I'd say it was after 2000. Please let me know.

Re: 333 Johnson Ave., when was this property inspected for completion and are there additional permits requested/granted for new work?

Please provide any additional complaints about my house since the last provision and the names and emails of those complaining. Please also provide anything else added to my file per my description of items sought in previous open records request and per the old subpoena attached before. This should include any photos with dates, on cd if possible, additional reports, and other supporting material and memos, even if they are internal and not posted to the city website.

Please provide me with all of the materials that Brian has filed with the city comm. regarding my appearance and his resolution. I need these right away and may ask Bobbie for them as Brian has refused to respond to my written request of Oct 25. I also requested minutes of CDAC meeting.

Re; materials provided to me from the CDAC presentation from Brian, the printed photos are undated, which is a common problem with things from his dept.

Nothing ever surfaced from Planning regarding 337 Johnson ave., as I had requested this in writing many weeks ago and they must have these records. I was promised a response by Sheila, but it never came and now the property has been sold. I specifically asked about the oversized bldg. at the extreme west back of the property as well as its very bright light which disturbs me. Sheila had told me once that this bldg. was built with approval, but it was before I bought in 1993. Also, records regarding the home occupation of Bill's TV which was shut down by the city for illegal commercial use of sfr zoning. It reopened in 2008 as a home occupation under the revised code and I was told it would not be allowed to have the type of lighting or bldg. that it already had. Now Sheila tells me that they let their license expire in 2010, yet I still saw customers after that. What records support any of this? Was there any penalty? Can I get that light turned off?

My printer is currently jammed and I am working on multiple projects as I write this.

I plan to also email the Mayor, but have not had the opportunity to do this today yet. When are you setting the agenda?

Again, the biggest item that I have requested is not the long list of places that have been complained about, but the more serious matters from 2009 to the present. Surely this dept. must have to make some sort of accounting to somebody about what they have done in a year. I am looking for number of cases charged, number of convictions/dismissals/acquittals in court, by type of violation, the number of cases of abatement, for what circumstances or charges, etc. I would like address and name if possible. That is, what goes to court or has abatement, how many to CDAC, with what result, etc. I am looking for and have been looking for, an accounting of the serious cases and those with serious consequences.

I mentioned to you 1821 W. 26th. I will have to double check this address. It's the one where the whole apt. bldg was condemned a few weeks ago and the tenants evicted. It was said that Brian had a concern about the roof there a year ago. What records exist of notices/inspections/photos, etc. of this property

Re: 1106 Rhode Island. I think you said I was too vague. This is the Packard car place and they did have a resolution for abatement sometime this year, I think. I know they got some kind of an extension, etc. and there has been correspondence. I would like to know when this process started with Brian's dept. and also what the status is now and whether these people have ever been taken to court.

Well, that's all for now. I will call tomorrow to see if I can pick up the stuff that Brian should have given me.

Thank you.

Patricia Sinclair

# CITY OF LAWRENCE BUILDING PERMIT CARD

General Contractor: JASON TANKING CONSTRUCTION  
 Concrete Contractor: JASON TANKING CONSTRUCTION  
 Framing Contractor: JASON TANKING CONSTRUCTION

Electrical Contractor: FRANK RHODES ELECTRIC  
 Mechanical Contractor: PAUL OEHLERT HEATING & AC  
 Plumbing Contractor: ALL STAR PLUMBING OF LAWRENCE

## 1804 BARKER AVE

PERMIT NO. **1-12-00723**

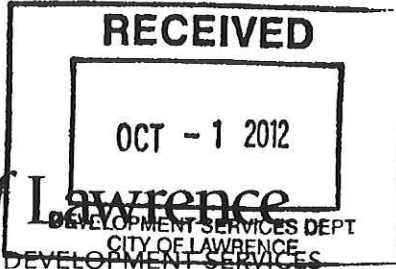
EXPIRATION DATE: **04/11/2013**

<p><b>FOOTING 101</b>                  INCLUDES                  CONCRETE                  ENCASED                  ELECTRODE                  101  <b>WILL CALL</b></p>	<p><b>FOUNDATION                  WALL</b>                  102  <b>WILL CALL</b></p>		<p><b>401</b>  <b>GROUND                  ROUGH                  PLUMBING</b>                  INCLUDES                  RADON                  ROUGH-IN</p>	
<p><b>ROUGH IN                  MECHANICAL</b>                  200</p>	<p><b>STACK OUT                  PLUMBING</b>                  400</p>		<p><b>ROUGH IN                  ELECTRIC</b>                  300</p>	<p><b>FRAMING</b>                  100</p>





**City of Lawrence**  
DEVELOPMENT SERVICES DEPT  
CITY OF LAWRENCE  
PLANNING & DEVELOPMENT SERVICES



Permit # \_\_\_\_\_

**Building Safety Division**  
1 Riverfront Plaza, Suite 110  
PO Box 708  
Lawrence, KS 66044  
Phone: (785) 832-7700  
Fax: (785) 832-3110  
[www.lawrenceks.org/pds](http://www.lawrenceks.org/pds)  
[buildinginspections@ci.lawrence.ks.us](mailto:buildinginspections@ci.lawrence.ks.us)

**ONE & TWO FAMILY DWELLING PERMIT APPLICATION**

**All Plans & Submittals:** Two sets are required for submittal.

**IF LARGER THAN 11X17 INCHES, ELECTRONIC MEDIA IS REQUIRED WITH PAPER SUBMITTALS.**

**1. Applicant Name & Signature**

Date: 10-1-12 Name: (print): JASON TANKING  
Applicant Signature: [Signature]  
Site Address: 1804 Banker Ave  
OR  
Legal Description: \_\_\_\_\_  
Block \_\_\_\_\_ Lot \_\_\_\_\_ Subdivision \_\_\_\_\_

**2. Property Owner Information**

Name: Red Fox L.C.  
Address: 1809 Leonard Ave. Zip code: 660044  
Phone No: \_\_\_\_\_ Cell phone No: same  
E-mail Address: sestanding@sunflower.com

**3. Project Valuation** \$ 31,500.

**4. Project Information**

<input type="checkbox"/> New Single Family	<input type="checkbox"/> Duplex (separation detail included)	<input type="checkbox"/> Accessory Building
<input type="checkbox"/> Townhome	<input checked="" type="checkbox"/> Addition	<input type="checkbox"/> Detached Garage/Carport
<input checked="" type="checkbox"/> Remodel	<input type="checkbox"/> Basement Finish	<input type="checkbox"/> Screened Porch
<input type="checkbox"/> Seasonal Room	<input type="checkbox"/> Deck	<input type="checkbox"/> Other: _____

Brief Description of Project: \_\_\_\_\_

**Documents & Submittals Included** (Drawings must be minimum 1/8" scale and fully dimensioned)

<input checked="" type="checkbox"/> Plot/Site Plan	<input type="checkbox"/> Foundation Plan	<input checked="" type="checkbox"/> Floor Plans	<input type="checkbox"/> Brace Wall Plan	<input checked="" type="checkbox"/> Elevations (all)
<input checked="" type="checkbox"/> Framing Details	<input type="checkbox"/> Manual J-Sheet	<input type="checkbox"/> Truss Specs.	<input type="checkbox"/> Firewall Detail	<input type="checkbox"/> Other

**5. General Contractor Information**

Company Name: JASON TANKING CONSTR. License Type: A B X C  
Contact Name: JASON License No. 12-00020598  
Address: 1509 N 400 N LAWRENCE, KS  
Phone No: \_\_\_\_\_ Cell phone No: \_\_\_\_\_  
E-mail Address: jason@jason-tanking-construction.com

**6. Sub-Contractor Information:**

Sub-Contractor Type	License No.	Company Name	Phone No.
Class D Framing	12-00020598	JASON TANKS/GR CONST	[REDACTED]
Class D Concrete	"	"	
Class D Concrete - Flatwork			
Class E Electrical		Frank Rhodes Elect	
Class E Plumbing		All Star Plbg.	
Class E Mechanical		Paul Dehant H+A	
Class E Mechanical - Fireplace			

**7. Dwelling Unit #1 Information** (circle) Single Family Dwelling Duplex Unit No. 1 Townhome

**Building Spaces:**  3 No. of Bedrooms  No. of Garage Bays  Slab on grade  
 1 No. of Full Baths  No. of 3/4 Baths  1 No. of 1/2 Baths  
 Full  Walk-out  Daylight

Basement Type (check)

**Finished Area Square Feet:**  
 First Floor  Second Floor  Third Floor  Basement   
 Total Finished Living Square Feet 1424

**Unfinished Area Square Feet:**  
 Basement  Garage  Total Unfinished Square Feet \_\_\_\_\_  
 Total Dwelling Unit #1 Footprint 712+120

**8. Dwelling Unit #2 Information** Duplex Unit No. 2

**Building Spaces:**  No. of Bedrooms  No. of Garage Bays  Slab on grade  
 No. of Full Baths  No. of 3/4 Baths  No. of 1/2 Baths  
 Full  Walk-out  Daylight

Basement Type (check)

**Finished Area Square Feet:**  
 First Floor  Second Floor  Third Floor  Basement   
 Total Finished Living Square Feet \_\_\_\_\_

**Unfinished Area Square Feet:**  
 Basement  Garage  Total Unfinished Square Feet \_\_\_\_\_  
 Total Dwelling Unit #2 Footprint \_\_\_\_\_

**9. Stormwater Square Footage** Total Building Footprint Unit #1 & Unit #2 \_\_\_\_\_

**10. Construction Details** (check all that apply)

<b>Roofing</b>	<input checked="" type="checkbox"/> Comp. Shingle	<input type="checkbox"/> Wood Shingle	<input type="checkbox"/> Tile	<input type="checkbox"/> Metal Seamed
<b>Footing Type</b>	<input checked="" type="checkbox"/> Spread	<input type="checkbox"/> Trench	<input type="checkbox"/> Pier	
<b>Framing Type</b>	<input checked="" type="checkbox"/> Wood	<input type="checkbox"/> Steel		
<b>Exterior Wall Type</b>	<input checked="" type="checkbox"/> Lap	<input type="checkbox"/> 4X8 Sheet	<input type="checkbox"/> Brick	<input type="checkbox"/> Stone
<b>Radon Control</b>	<input type="checkbox"/> Roughed-In	<input type="checkbox"/> Active		

*1804 Barker  
HVAC Load Calculations*

for

Steve Standing  
1804 Barker  
Lawrence, KS 66049

Prepared By:

Paul Oehlert  
Paul Oehlert Heating And Air Cond. Inc.  
1583 N 900 Rd.  
Baldwin City, KS 66006  
785.749.0678  
Monday, October 01, 2012





## Project Report

### General Project Information

Project Title: 1804 Barker  
 Designed By: Paul Oehlert  
 Project Date: 10-1-2012  
 Project Comment:  
 Client Name: Steve Standing  
 Client Address: 1804 Barker  
 Client City: Lawrence, KS 66049  
 Client Comment:  
 Company Name: Paul Oehlert Heating And Air Cond. Inc.  
 Company Representative: Paul Oehlert  
 Company Address: 1583 N 900 Rd.  
 Company City: Baldwin City, KS 66006  
 Company Phone: 785.749.0678  
 Company Fax: 785.842.8779  
 Company E-Mail Address: pauloehlert@gmail.com  
 Company Comment:

### Design Data

Reference City: Topeka, Kansas  
 Daily Temperature Range: Medium  
 Latitude: 39 Degrees  
 Elevation: 877 ft.  
 Altitude Factor: 0.969  
 Elevation Sensible Adj. Factor: 1.000  
 Elevation Total Adj. Factor: 1.000  
 Elevation Heating Adj. Factor: 1.000  
 Elevation Heating Adj. Factor: 1.000

	Outdoor <u>Dry Bulb</u>	Outdoor <u>Wet Bulb</u>	Indoor <u>Rel.Hum</u>	Indoor <u>Dry Bulb</u>	Grains <u>Difference</u>
Winter:	0	0	30	72	31
Summer:	97	75	50	75	33

### Check Figures

Total Building Supply CFM: 998  
 Square ft. of Room Area: 2,136  
 Volume (ft³) of Cond. Space: 17,088  
 CFM Per Square ft.: 0.467  
 Square ft. Per Ton: 904  
 Air Turnover Rate (per hour): 3.5

### Building Loads

Total Heating Required With Outside Air: 28,300 Btuh 28.300 MBH  
 Total Sensible Gain: 21,262 Btuh 91 %  
 Total Latent Gain: 1,992 Btuh 9 %  
 Total Cooling Required With Outside Air: 23,254 Btuh  
 1.94 Tons (Based On Sensible + Latent)  
 2.36 Tons (Based On 75% Sensible Capacity)

### Notes

Calculations are based on 8th edition of ACCA Manual J.  
 All computed results are estimates as building use and weather may vary.  
 Be sure to select a unit that meets both sensible and latent loads.



*Miscellaneous Report*

System 1 Input Data	Outdoor Dry Bulb	Outdoor Wet Bulb	Indoor Rel.Hum	Indoor Dry Bulb	Grains Difference
Winter:	0	0	30	72	31.43
Summer:	97	75	50	75	32.85

Duct Sizing Inputs

	<u>Main Trunk</u>	<u>Runouts</u>
Calculate:	Yes	Yes
Use Schedule:	Yes	Yes
Roughness Factor:	0.00300	0.01000
Pressure Drop:	0.1000 in.wg./100 ft.	0.1000 in.wg./100 ft.
Minimum Velocity:	650 ft./min	450 ft./min
Maximum Velocity:	900 ft./min	750 ft./min
Minimum Height:	0 in.	0 in.
Maximum Height:	0 in.	0 in.

Outside Air Data

	<u>Winter</u>	<u>Summer</u>
Infiltration:	0.260 AC/hr	0.140 AC/hr
Above Grade Volume:	X 15,664 Cu.ft.	X 15,664 Cu.ft.
	4,073 Cu.ft./hr	2,193 Cu.ft./hr
	X 0.0167	X 0.0167
Total Building Infiltration:	68 CFM	37 CFM
Total Building Ventilation:	0 CFM	0 CFM

---System 1---

Infiltration & Ventilation Sensible Gain Multiplier: 23.44 = (1.10 X 0.969 X 22.00 Summer Temp. Difference)  
 Infiltration & Ventilation Latent Gain Multiplier: 21.64 = (0.68 X 0.969 X 32.85 Grains Difference)  
 Infiltration & Ventilation Sensible Loss Multiplier: 76.72 = (1.10 X 0.969 X 72.00 Winter Temp. Difference)



### Load Preview Report

Scope	Has AED	Net Ton	Rec Ton	ft. <sup>2</sup> /Ton	Area	Sen Gain	Lat Gain	Net Gain	Sen Loss	Sys Htg CFM	Sys Clg CFM	Sys Act CFM	Duct Size
Building		1.94	2.36	904	2,136	21,262	1,992	23,254	28,300	379	998	998	
System 1	Yes	1.94	2.36	904	2,136	21,262	1,992	23,254	28,300	379	998	998	12x15
Zone 1					2,136	21,262	1,992	23,254	28,300	379	998	998	12x15
1-Basement					392	757	119	876	4,547	61	36	36	1-6
2-Basement					320	615	97	712	3,695	50	29	29	1-6
3-Living Room					392	4,772	559	5,331	5,322	71	224	224	2-6
4-Kitchen					320	4,684	129	4,813	3,974	53	220	220	2-6
5-Bed 2-3					392	5,607	559	6,166	5,964	80	263	263	2-7
6-Master Bedroom					320	4,827	529	5,356	4,798	64	226	226	2-6



### Total Building Summary Loads

Component Description	Area Quan	Sen Loss	Lat Gain	Sen Gain	Total Gain
3A-v-o: Glazing-Double pane low-e (e = 0.40), operable window, vinyl frame, u-value 0.32	145.5	3,348	0	4,177	4,177
11J: Door-Metal - Fiberglass Core	54	738	0	339	339
15B13-0w-2: Wall-Basement, , framing with R-13 sill to floor in 2 x 4 cavity, core, no board insulation, plus interior finish, wood studs, 2' floor depth	928	5,796	0	1,138	1,138
12C-0sw: Wall-Frame, R-13 insulation in 2 x 4 stud cavity, no board insulation, siding finish, wood studs	1656.5	10,851	0	4,295	4,295
16B-38: Roof/Ceiling-Under attic or knee wall, Vented Attic, No Radiant Barrier, Dark Asphalt Shingles or Dark Metal, Tar and Gravel or Membrane, R-38 insulation	712	1,333	0	1,055	1,055
21A-32: Floor-Basement, Concrete slab, any thickness, 2 or more feet below grade, no insulation below floor, any floor cover, shortest side of floor slab is 32' wide	712	1,025	0	0	0
Subtotals for structure:		23,091	0	11,004	11,004
People:	6		1,200	1,380	2,580
Equipment:			0	1,200	1,200
Lighting:	2000			6,820	6,820
Ductwork:		0	0	0	0
Infiltration: Winter CFM: 68, Summer CFM: 37		5,209	792	858	1,650
Ventilation: Winter CFM: 0, Summer CFM: 0		0	0	0	0
<b>Total Building Load Totals:</b>		<b>28,300</b>	<b>1,992</b>	<b>21,262</b>	<b>23,254</b>

#### Check Figures

Total Building Supply CFM:	998	CFM Per Square ft.:	0.467
Square ft. of Room Area:	2,136	Square ft. Per Ton:	904
Volume (ft³) of Cond. Space:	17,088	Air Turnover Rate (per hour):	3.5

#### Building Loads

Total Heating Required With Outside Air:	28,300 Btuh	28.300 MBH
Total Sensible Gain:	21,262 Btuh	91 %
Total Latent Gain:	1,992 Btuh	9 %
Total Cooling Required With Outside Air:	23,254 Btuh	1.94 Tons (Based On Sensible + Latent)
		2.36 Tons (Based On 75% Sensible Capacity)

#### Notes

Calculations are based on 8th edition of ACCA Manual J.  
 All computed results are estimates as building use and weather may vary.  
 Be sure to select a unit that meets both sensible and latent loads.



### System 1 Summary Loads

Component Description	Area Quan	Sen Loss	Lat Gain	Sen Gain	Total Gain
3A-v-o: Glazing-Double pane low-e (e = 0.40), operable window, vinyl frame, u-value 0.32	145.5	3,348	0	4,177	4,177
11J: Door-Metal - Fiberglass Core	54	738	0	339	339
15B13-0w-2: Wall-Basement, , framing with R-13 sill to floor in 2 x 4 cavity, core, no board insulation, plus interior finish, wood studs, 2' floor depth	928	5,796	0	1,138	1,138
12C-0sw: Wall-Frame, R-13 insulation in 2 x 4 stud cavity, no board insulation, siding finish, wood studs	1656.5	10,851	0	4,295	4,295
16B-38: Roof/Ceiling-Under attic or knee wall, Vented Attic, No Radiant Barrier, Dark Asphalt Shingles or Dark Metal, Tar and Gravel or Membrane, R-38 insulation	712	1,333	0	1,055	1,055
21A-32: Floor-Basement, Concrete slab, any thickness, 2 or more feet below grade, no insulation below floor, any floor cover, shortest side of floor slab is 32' wide	712	1,025	0	0	0
Subtotals for structure:		23,091	0	11,004	11,004
People:	6		1,200	1,380	2,580
Equipment:			0	1,200	1,200
Lighting:	2000			6,820	6,820
Ductwork:		0	0	0	0
Infiltration: Winter CFM: 68, Summer CFM: 37		5,209	792	858	1,650
Ventilation: Winter CFM: 0, Summer CFM: 0		0	0	0	0
<b>System 1 Load Totals:</b>		<b>28,300</b>	<b>1,992</b>	<b>21,262</b>	<b>23,254</b>

#### Check Figures

Supply CFM:	998	CFM Per Square ft.:	0.467
Square ft. of Room Area:	2,136	Square ft. Per Ton:	904
Volume (ft³) of Cond. Space:	17,088	Air Turnover Rate (per hour):	3.5

#### System Loads

Total Heating Required With Outside Air:	28,300 Btuh	28.300 MBH
Total Sensible Gain:	21,262 Btuh	91 %
Total Latent Gain:	1,992 Btuh	9 %
Total Cooling Required With Outside Air:	23,254 Btuh	1.94 Tons (Based On Sensible + Latent)
		2.36 Tons (Based On 75% Sensible Capacity)

#### Notes

Calculations are based on 8th edition of ACCA Manual J.  
 All computed results are estimates as building use and weather may vary.  
 Be sure to select a unit that meets both sensible and latent loads.



**System 1, Zone 1 Summary Loads (Average Load Procedure for Rooms)**

Component Description	Area Quan	Sen Loss	Lat Gain	Sen Gain	Total Gain
3A-v-o: Glazing-Double pane low-e (e = 0.40), operable window, vinyl frame, u-value 0.32	145.5	3,348	0	4,177	4,177
11J: Door-Metal - Fiberglass Core	54	738	0	339	339
15B13-0w-2: Wall-Basement, , framing with R-13 sill to floor in 2 x 4 cavity, core, no board insulation, plus interior finish, wood studs, 2' floor depth	928	5,796	0	1,138	1,138
12C-0sw: Wall-Frame, R-13 insulation in 2 x 4 stud cavity, no board insulation, siding finish, wood studs	1656.5	10,851	0	4,295	4,295
16B-38: Roof/Ceiling-Under attic or knee wall, Vented Attic, No Radiant Barrier, Dark Asphalt Shingles or Dark Metal, Tar and Gravel or Membrane, R-38 insulation	712	1,333	0	1,055	1,055
21A-32: Floor-Basement, Concrete slab, any thickness, 2 or more feet below grade, no insulation below floor, any floor cover, shortest side of floor slab is 32' wide	712	1,025	0	0	0
Subtotals for structure:		23,091	0	11,004	11,004
People:	6		1,200	1,380	2,580
Equipment:			0	1,200	1,200
Lighting:	2000			6,820	6,820
Ductwork:		0	0	0	0
Infiltration: Winter CFM: 68, Summer CFM: 37		5,209	792	858	1,650
<b>System 1, Zone 1 Load Totals:</b>		<b>28,300</b>	<b>1,992</b>	<b>21,262</b>	<b>23,254</b>

**Check Figures**

Supply CFM:	998	CFM Per Square ft.:	0.467
Square ft. of Room Area:	2,136	Square ft. Per Ton:	904
Volume (ft³) of Cond. Space:	17,088	Air Turnover Rate (per hour):	3.5

**Zone Loads**

Total Heating Required:	28,300 Btuh	28.300 MBH
Total Sensible Gain:	21,262 Btuh	91 %
Total Latent Gain:	1,992 Btuh	9 %
Total Cooling Required:	23,254 Btuh	1.94 Tons (Based On Sensible + Latent) 2.36 Tons (Based On 75% Sensible Capacity)

**Notes**

Calculations are based on 8th edition of ACCA Manual J.  
 All computed results are estimates as building use and weather may vary.  
 Be sure to select a unit that meets both sensible and latent loads.



**Detailed Room Loads - Room 1 - Basement (Average Load Procedure)**

**General**

Calculation Mode:	Htg. & clg.	Occurrences:	1
Room Length:	28.0 ft.	System Number:	1
Room Width:	14.0 ft.	Zone Number:	1
Area:	392.0 sq.ft.	Supply Air:	36 CFM
Ceiling Height:	8.0 ft.	Supply Air Changes:	0.7 AC/hr
Volume:	3,136.0 cu.ft.	Required Vent.:	0 CFM
Number of Registers:	1	Actual Winter Vent.:	0 CFM
Runout Air:	0 CFM	Percent of Supply.:	0 %
Runout Duct Size:	6 in.	Actual Summer Vent.:	0 CFM
Runout Air Velocity:	181 ft./min.	Percent of Supply:	0 %
Runout Air Velocity:	181 ft./min.	Actual Winter Infil.:	10 CFM
Actual Loss:	0.021 in.wg./100 ft.	Actual Summer Infil.:	5 CFM

Item Description	Area Quantity	-U- Value	Htg HTM	Sen Loss	Clg HTM	Lat Gain	Sen Gain
W -Wall-15B13-0w-2 14 X 8	112	0.068	6.2	700	1.2	0	137
E -Wall-15B13-0w-2 14 X 8	112	0.068	6.2	700	1.2	0	137
N -Wall-15B13-0w-2 28 X 8	224	0.068	6.2	1,399	1.2	0	275
S -Wall-15B13-0w-2 8 X 8	64	0.068	6.2	400	1.2	0	79
Floor-21A-32 14 X 28	392	0.020	1.4	564	0.0	0	0
Subtotals for Structure:				3,763		0	628
Infil.: Win.: 10.2, Sum.: 5.5	384		2.042	784	0.336	119	129
Room Totals:				4,547		119	757



**Detailed Room Loads - Room 2 - Basement (Average Load Procedure)**

**General**

Calculation Mode:	Htg. & clg.	Occurrences:	1
Room Length:	20.0 ft.	System Number:	1
Room Width:	16.0 ft.	Zone Number:	1
Area:	320.0 sq.ft.	Supply Air:	29 CFM
Ceiling Height:	8.0 ft.	Supply Air Changes:	0.7 AC/hr
Volume:	2,560.0 cu.ft.	Required Vent.:	0 CFM
Number of Registers:	1	Actual Winter Vent.:	0 CFM
Runout Air:	0 CFM	Percent of Supply.:	0 %
Runout Duct Size:	6 in.	Actual Summer Vent.:	0 CFM
Runout Air Velocity:	147 ft./min.	Percent of Supply:	0 %
Runout Air Velocity:	147 ft./min.	Actual Winter Infil.:	8 CFM
Actual Loss:	0.014 in.wg./100 ft.	Actual Summer Infil.:	4 CFM

Item Description	Area Quantity	-U- Value	Htg HTM	Sen Loss	Clg HTM	Lat Gain	Sen Gain
E -Wall-15B13-0w-2 16 X 8	128	0.068	6.2	799	1.2	0	157
W -Wall-15B13-0w-2 16 X 8	128	0.068	6.2	799	1.2	0	157
S -Wall-15B13-0w-2 20 X 8	160	0.068	6.2	999	1.2	0	196
Floor-21A-32 16 X 20	320	0.020	1.4	461	0.0	0	0
Subtotals for Structure:				3,058		0	510
Infil.: Win.: 8.3, Sum.: 4.5	312		2.042	637	0.337	97	105
Room Totals:				3,695		97	615





**Detailed Room Loads - Room 3 - Living Room (Average Load Procedure)**

**General**

Calculation Mode:	Htg. & clg.	Occurrences:	1
Room Length:	28.0 ft.	System Number:	1
Room Width:	14.0 ft.	Zone Number:	1
Area:	392.0 sq.ft.	Supply Air:	224 CFM
Ceiling Height:	8.0 ft.	Supply Air Changes:	4.3 AC/hr
Volume:	3,136.0 cu.ft.	Required Vent.:	0 CFM
Number of Registers:	2	Actual Winter Vent.:	0 CFM
Runout Air:	0 CFM	Percent of Supply.:	0 %
Runout Duct Size:	6 in.	Actual Summer Vent.:	0 CFM
Runout Air Velocity:	570 ft./min.	Percent of Supply:	0 %
Runout Air Velocity:	570 ft./min.	Actual Winter Infil.:	14 CFM
Actual Loss:	0.202 in.wg./100 ft.	Actual Summer Infil.:	7 CFM

Item Description	Area Quantity	-U- Value	Htg HTM	Sen Loss	Clg HTM	Lat Gain	Sen Gain
E -Wall-12C-0sw 14 X 8	89.5	0.091	6.6	586	2.6	0	232
W -Wall-12C-0sw 14 X 8	94	0.091	6.6	616	2.6	0	244
N -Wall-12C-0sw 28 X 8	206	0.091	6.6	1,350	2.6	0	534
S -Wall-12C-0sw 8 X 8	46	0.091	6.6	301	2.6	0	119
W -Door-11J 3 X 6	18	0.190	13.7	246	6.3	0	113
S -Door-11J 3 X 6	18	0.190	13.7	246	6.3	0	113
E -Gls-3A-v-o shgc-0.32 0%S (2)	22.5	0.320	23.0	518	37.3	0	840
N -Gls-3A-v-o shgc-0.32 100%S (2)	18	0.320	23.0	414	13.3	0	240
Subtotals for Structure:				4,277		0	2,435
Infil.: Win.: 13.6, Sum.: 7.3	512		2.041	1,045	0.336	159	172
People: 200 lat/per, 230 sen/per:	2					400	460
Lighting:	500						1,705
Room Totals:				5,322		559	4,772



**Detailed Room Loads - Room 4 - Kitchen (Average Load Procedure)**

**General**

Calculation Mode:	Htg. & clg.	Occurrences:	1
Room Length:	20.0 ft.	System Number:	1
Room Width:	16.0 ft.	Zone Number:	1
Area:	320.0 sq.ft.	Supply Air:	220 CFM
Ceiling Height:	8.0 ft.	Supply Air Changes:	5.2 AC/hr
Volume:	2,560.0 cu.ft.	Required Vent.:	0 CFM
Number of Registers:	2	Actual Winter Vent.:	0 CFM
Runout Air:	0 CFM	Percent of Supply:	0 %
Runout Duct Size:	6 in.	Actual Summer Vent.:	0 CFM
Runout Air Velocity:	560 ft./min.	Percent of Supply:	0 %
Runout Air Velocity:	560 ft./min.	Actual Winter Infil.:	11 CFM
Actual Loss:	0.194 in.wg./100 ft.	Actual Summer Infil.:	6 CFM

Item Description	Area Quantity	-U- Value	Htg HTM	Sen Loss	Clg HTM	Lat Gain	Sen Gain
E -Wall-12C-0sw 16 X 8	122	0.091	6.6	799	2.6	0	316
W -Wall-12C-0sw 16 X 8	122	0.091	6.6	799	2.6	0	316
S -Wall-12C-0sw 20 X 8	137.5	0.091	6.6	901	2.6	0	357
S -Door-11J 3 X 6	18	0.190	13.7	246	6.3	0	113
E -Gls-3A-v-o shgc-0.32 0%S	6	0.320	23.0	138	37.3	0	224
S -Gls-3A-v-o shgc-0.32 0%S	4.5	0.320	23.0	104	19.8	0	89
W -Gls-3A-v-o shgc-0.32 0%S	6	0.320	23.0	138	37.3	0	224
Subtotals for Structure:				3,125		0	1,639
Infil.: Win.: 11.1, Sum.: 6.0	416		2.041	849	0.337	129	140
Equipment:						0	1,200
Lighting:	500						1,705
Room Totals:				3,974		129	4,684



**Detailed Room Loads - Room 5 - Bed 2-3 (Average Load Procedure)**

**General**

Calculation Mode:	Htg. & clg.	Occurrences:	1
Room Length:	28.0 ft.	System Number:	1
Room Width:	14.0 ft.	Zone Number:	1
Area:	392.0 sq.ft.	Supply Air:	263 CFM
Ceiling Height:	8.0 ft.	Supply Air Changes:	5.0 AC/hr
Volume:	3,136.0 cu.ft.	Required Vent.:	0 CFM
Number of Registers:	2	Actual Winter Vent.:	0 CFM
Runout Air:	0 CFM	Percent of Supply.:	0 %
Runout Duct Size:	7 in.	Actual Summer Vent.:	0 CFM
Runout Air Velocity:	492 ft./min.	Percent of Supply:	0 %
Runout Air Velocity:	492 ft./min.	Actual Winter Infil.:	14 CFM
Actual Loss:	0.122 in.wg./100 ft.	Actual Summer Infil.:	7 CFM

Item Description	Area Quantity	-U- Value	Htg HTM	Sen Loss	Clg HTM	Lat Gain	Sen Gain
E -Wall-12C-0sw 14 X 8	89.5	0.091	6.6	586	2.6	0	232
W -Wall-12C-0sw 14 X 8	102	0.091	6.6	668	2.6	0	265
N -Wall-12C-0sw 28 X 8	212	0.091	6.6	1,389	2.6	0	550
S -Wall-12C-0sw 8 X 8	58	0.091	6.6	380	2.6	0	150
E -Gls-3A-v-o shgc-0.32 0%S (2)	22.5	0.320	23.0	518	37.3	0	840
N -Gls-3A-v-o shgc-0.32 100%S (2)	12	0.320	23.0	276	13.3	0	160
W -Gls-3A-v-o shgc-0.32 0%S	10	0.320	23.0	230	37.3	0	373
S -Gls-3A-v-o shgc-0.32 0%S	6	0.320	23.0	138	19.8	0	119
UP-Ceil-16B-38 28 X 14	392	0.026	1.9	734	1.5	0	581
<b>Subtotals for Structure:</b>				<b>4,919</b>		<b>0</b>	<b>3,270</b>
Infil.: Win.: 13.6, Sum.: 7.3	512		2.041	1,045	0.336	159	172
People: 200 lat/per, 230 sen/per:	2					400	460
Lighting:	500						1,705
<b>Room Totals:</b>				<b>5,964</b>		<b>559</b>	<b>5,607</b>



**Detailed Room Loads - Room 6 - Master Bedroom (Average Load Procedure)**

**General**

Calculation Mode:	Htg. & clg.	Occurrences:	1
Room Length:	20.0 ft.	System Number:	1
Room Width:	16.0 ft.	Zone Number:	1
Area:	320.0 sq.ft.	Supply Air:	226 CFM
Ceiling Height:	8.0 ft.	Supply Air Changes:	5.3 AC/hr
Volume:	2,560.0 cu.ft.	Required Vent.:	0 CFM
Number of Registers:	2	Actual Winter Vent.:	0 CFM
Runout Air:	0 CFM	Percent of Supply.:	0 %
Runout Duct Size:	6 in.	Actual Summer Vent.:	0 CFM
Runout Air Velocity:	577 ft./min.	Percent of Supply:	0 %
Runout Air Velocity:	577 ft./min.	Actual Winter Infil.:	11 CFM
Actual Loss:	0.206 in.wg./100 ft.	Actual Summer Infil.:	6 CFM

Item Description	Area Quantity	-U- Value	Htg HTM	Sen Loss	Clg HTM	Lat Gain	Sen Gain
E -Wall-12C-0sw 16 X 8	122	0.091	6.6	799	2.6	0	316
W -Wall-12C-0sw 16 X 8	116	0.091	6.6	760	2.6	0	301
S -Wall-12C-0sw 20 X 8	140	0.091	6.6	917	2.6	0	363
E -Gls-3A-v-o shgc-0.32 0%S	6	0.320	23.0	138	37.3	0	224
S -Gls-3A-v-o shgc-0.32 0%S (2)	20	0.320	23.0	460	19.8	0	396
W -Gls-3A-v-o shgc-0.32 0%S (2)	12	0.320	23.0	276	37.3	0	448
UP-Ceil-16B-38 20 X 16	320	0.026	1.9	599	1.5	0	474
Subtotals for Structure:				3,949		0	2,522
Infil.: Win.: 11.1, Sum.: 6.0	416		2.041	849	0.337	129	140
People: 200 lat/per, 230 sen/per:	2					400	460
Lighting:	500						1,705
Room Totals:				4,798		529	4,827



### System 1 Room Load Summary

Room No	Room Name	Area SF	Htg Sens Btuh	Min Htg CFM	Run Duct Size	Run Duct Vel	Clg Sens Btuh	Clg Lat Btuh	Min Clg CFM	Act Sys CFM
---Zone 1---										
1	Basement	392	4,547	61	1-6	181	757	119	36	36
2	Basement	320	3,695	50	1-6	147	615	97	29	29
3	Living Room	392	5,322	71	2-6	570	4,772	559	224	224
4	Kitchen	320	3,974	53	2-6	560	4,684	129	220	220
5	Bed 2-3	392	5,964	80	2-7	492	5,607	559	263	263
6	Master Bedroom	320	4,798	64	2-6	577	4,827	529	226	226
System 1 total		2,136	28,300	379			21,262	1,992	998	998

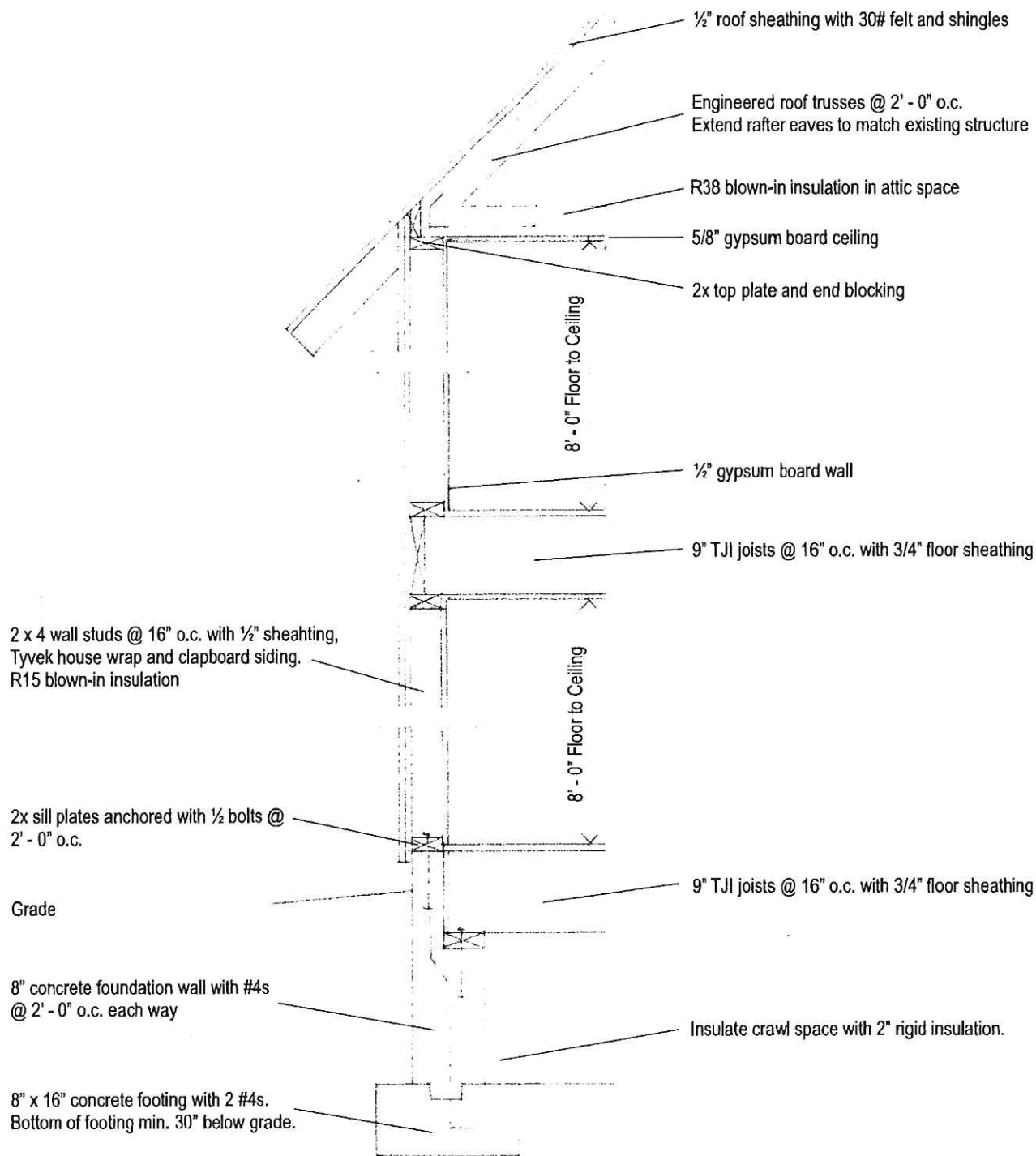
System 1 Main Trunk Size: 12x15 in.  
 Velocity: 798 ft./min  
 Loss per 100 ft.: 0.096 in.wg

### Cooling System Summary

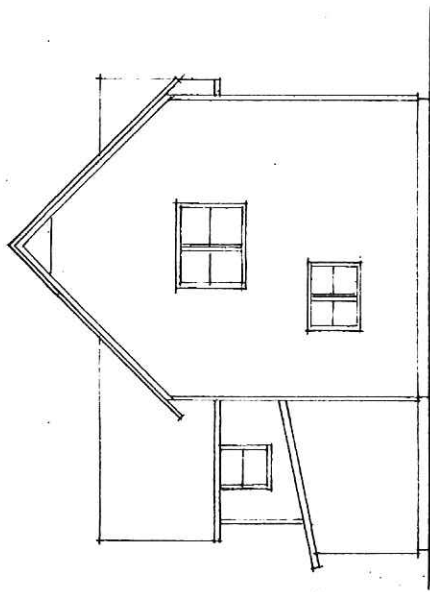
	Cooling Tons	Sensible/Latent Split	Sensible Btuh	Latent Btuh	Total Btuh
Net Required:	1.94	91% / 9%	21,262	1,992	23,254
Recommended:	2.36	75% / 25%	21,262	7,087	28,349

### Equipment Data

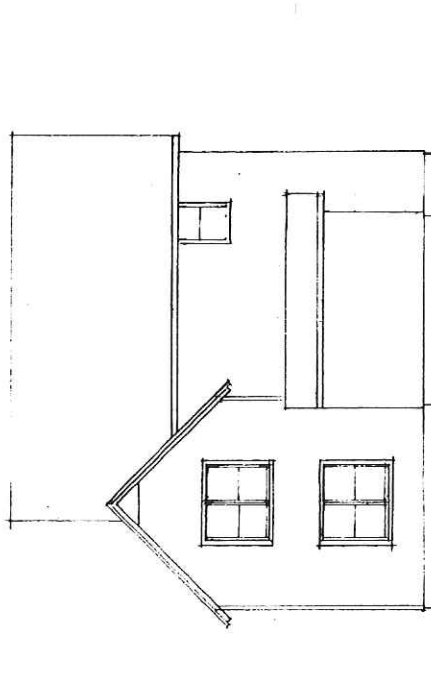
	<u>Heating System</u>	<u>Cooling System</u>
Type:		
Model:		
Brand:		
Efficiency:		
Sound:		
Capacity:		
Sensible Capacity:	n/a	0 Btuh
Latent Capacity:	n/a	0 Btuh



Wall Section ①  
 3/4" = 1' - 0"



SOUTH ELEVATION  
1/8" = 1'-0"



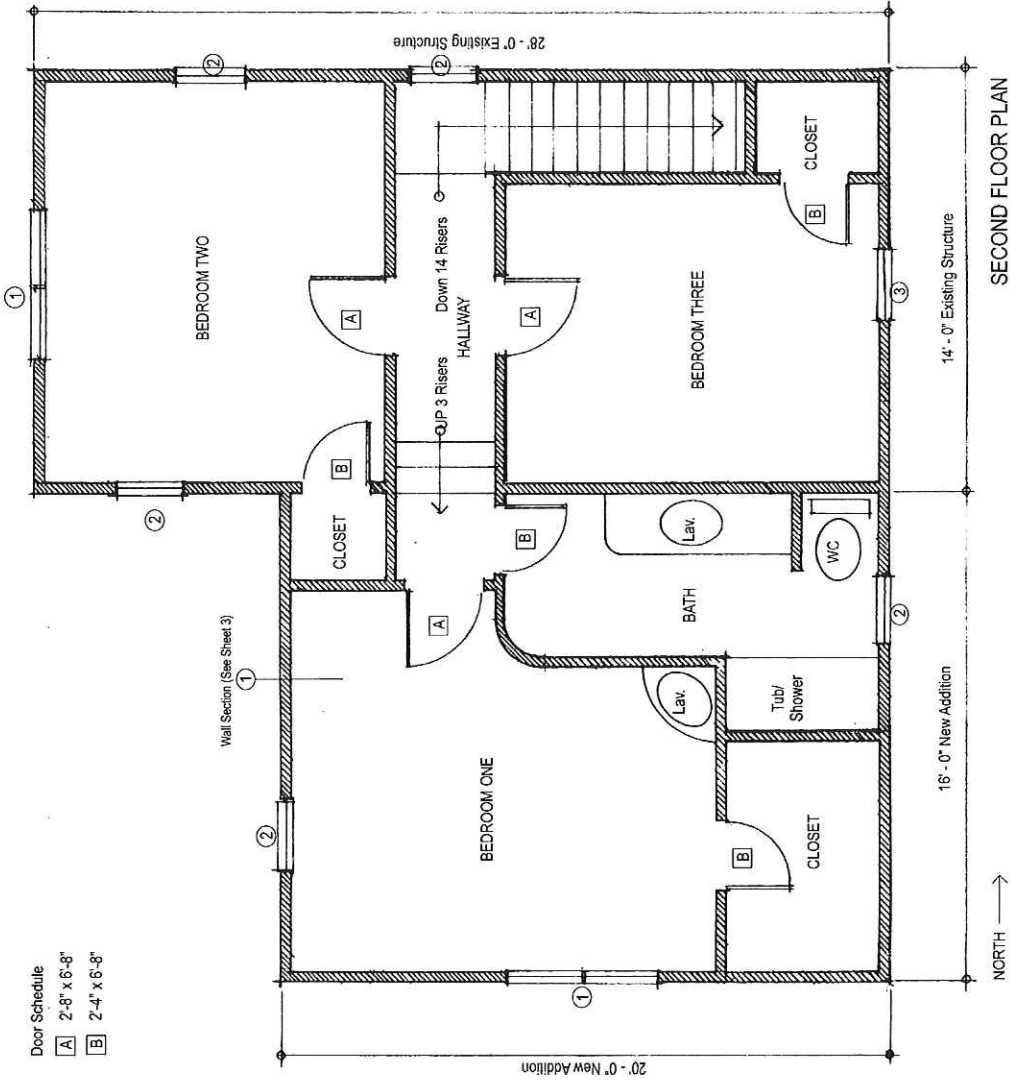
WEST ELEVATION  
1/8" = 1'-0"

Window Schedule

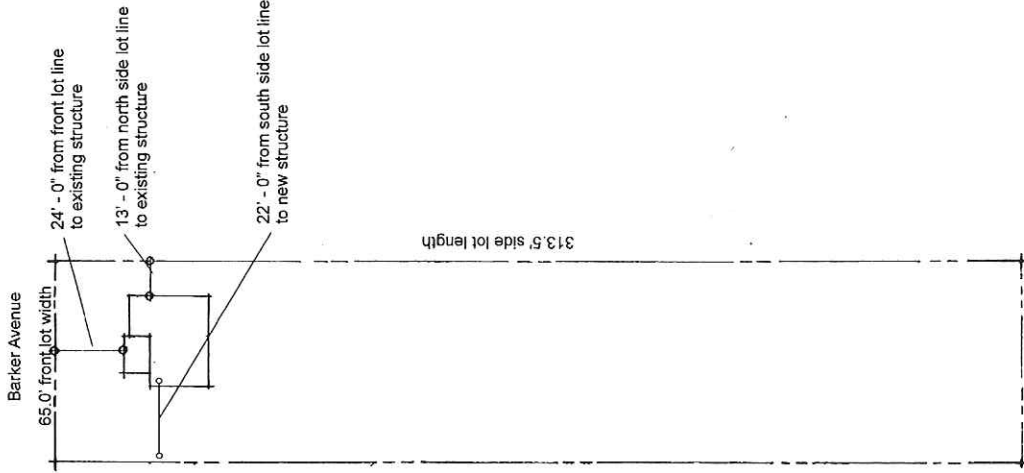
- ① Double 30" wide x 50" high single-hung
- ② 28" wide x 36" high single-hung
- ③ 30" wide x 50" high single-hung

Door Schedule

- A 2'-8" x 6'-8"
- B 2'-4" x 6'-8"

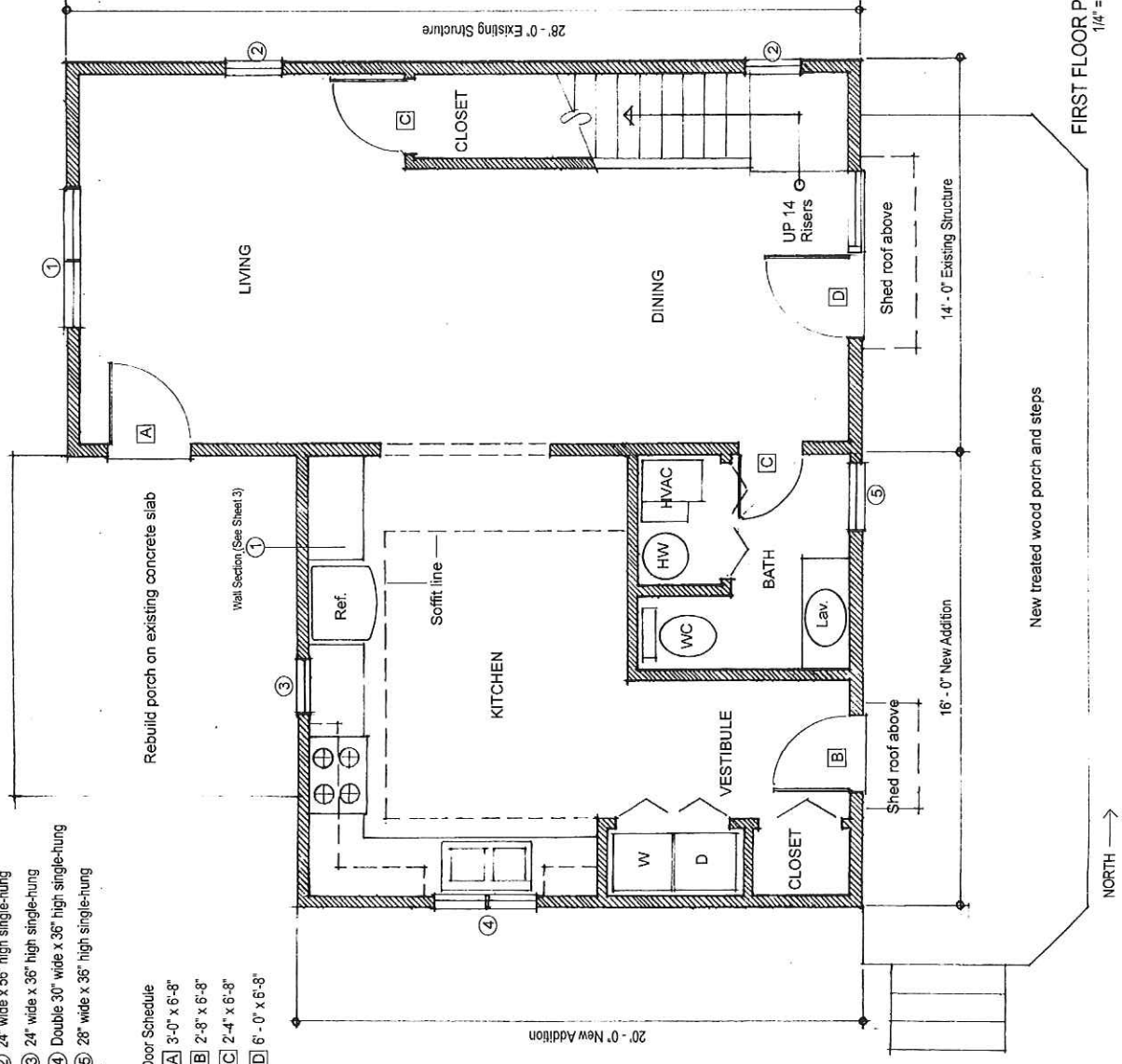


SECOND FLOOR PLAN  
1/4" = 1'-0"



- Window Schedule
- ① Double 30" wide x 50" high single-hung
  - ② 24" wide x 56" high single-hung
  - ③ 24" wide x 36" high single-hung
  - ④ Double 30" wide x 36" high single-hung
  - ⑤ 28" wide x 36" high single-hung

- Door Schedule
- A 3'-0" x 6'-8"
  - B 2'-8" x 6'-8"
  - C 2'-4" x 6'-8"
  - D 6'-0" x 6'-8"



New treated wood porch and steps

FIRST FLOOR PLAN  
1/4" = 1'-0"





# CITY OF LAWRENCE, KANSAS

## INSPECTION DIVISION

Phone: (785) 832-3100  
 1 Riverfront Plaza  
 Lower Level / Suite 110

PERMIT NO: <b>36996</b>		DATE ISSUED <b>5/16/2003</b>	
PERMIT TYPE: <b>RESR - BLDG (RES - REMODEL)</b>		PREPARED BY: <b>CARDIN_M</b>	
PROJECT ADDRESS: <b>1823 BARKER AVE</b>		GENERAL CONTRACTOR: <b>RAY BEAUMONT</b>	
LEGAL DESCRIPTION:		ELECTRICAL CONTRACTOR:	
		PLUMBING CONTRACTOR:	
PROPERTY OWNER'S NAME / ADDRESS:	ZONING:	MECHANICAL CONTRACTOR:	
ADDITIONAL DESCRIPTION:			

**SPECIAL NOTES & RESTRICTIONS:**

REPLACE EXISTING GARAGE

**REQUIRED INSPECTIONS**

<input checked="" type="checkbox"/> FINAL BUILDING	<input checked="" type="checkbox"/> FRAMING	ROUGH-IN ELECTRICAL	SITE PLAN APPROVAL
FINAL ELECTRICAL	<input checked="" type="checkbox"/> FOOTING	ROUGH-IN MECHANICAL	SPECIAL MECHANICAL
FINAL MECHANICAL	GAS LINE	ROUGH-IN PLUMBING	STACK OUT
FINAL OCCUPANCY	GAS METER	SEWER	TEMPORARY POWER
FINAL PLUMBING	PERMANENT SERVICE	SIGN INSPECTION	

I hereby certify that I have read and examined this permit and that the information stated herein is true and correct. I agree to comply with all laws, codes, and ordinances applicable to the work approved hereby and to give prompt and timely notice to the appropriate authority when the required inspections noted above are due to be performed. I accept full responsibility for insuring that all required inspections are performed at the appropriate time, the work approved and that, in the case of new construction, no occupancy of the premises is permitted until authorized by the Building Inspection Division.

APPLICANT'S PHONE NO: _____ PRINT NAME: _____ SIGNATURE: _____	BLDG INSPECTOR SIGNATURE: _____ <b>11/16/2003</b> DATE & PIRES: _____	ESTIMATED VALUATION <b>5000</b> PERMIT FEE <b>88.00</b>
--	---	--

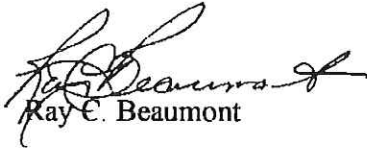
Ray C. Beaumont  
1823 Barker Ave.  
Lawrence, KS 66044

01 May 2003

Dear Sirs,

Attached is the remodel plans for my garage at 1823 Barker Ave., Lawrence, KS. It is a simple wood frame structure with an asphalt shingled roof and 6" cement lap siding. No electrical work will be done at this time due to cost consideration and no other utilities are considered for this garage.

My daytime phone numbers are

  
Ray C. Beaumont

BUILDING PERMIT APPLICATION

Building Inspection Division, 1 Riverfront Plaza Suite 110, Lawrence, Kansas 66044, (785) 832-3100

PROJECT ADDRESS 1823 BARKER AVE DATE 2 MAY 03

OR

LEGAL DESCRIPTION: Block \_\_\_\_\_ Lot \_\_\_\_\_ Subdivision \_\_\_\_\_

PERMIT TYPE:  General Building  Electrical  Plumbing  Mechanical  Lawn Sprinkler

GENERAL CONTRACTOR DAVID SELF PAY REALTOR Phone 842-5341

Address 1823 BARKER City LAWRENCE State KAN

Contact Person (print): RAY BEAUMONT Signature [Signature]

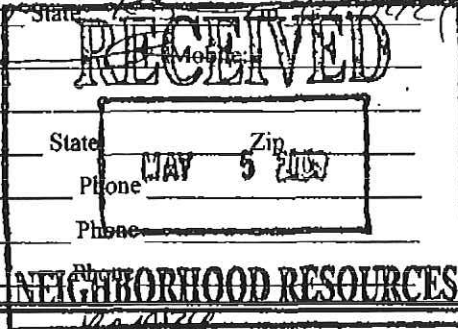
OWNER (commercial or more than 2 units): \_\_\_\_\_

Address \_\_\_\_\_ City \_\_\_\_\_ State \_\_\_\_\_ Zip \_\_\_\_\_

ELECTRICAL CONTRACTOR: N/A Phone \_\_\_\_\_

PLUMBING CONTRACTOR: N/A Phone \_\_\_\_\_

MECHANICAL CONTRACTOR: N/A Phone \_\_\_\_\_



WORK DESCRIPTION:  New Construction  Remodel  Addition EXISTING GARAGE

STRUCTURE TYPE:  Dwelling  Single  Duplex  Tri-Plex  Four-Plex  Apartment/No. of Units \_\_\_\_\_

Commercial Usage \_\_\_\_\_  Other GARAGE

SQUARE FOOTAGE: 1st Floor \_\_\_\_\_ 2nd Floor \_\_\_\_\_ 3rd Floor \_\_\_\_\_

Basement (finished) \_\_\_\_\_ (unfinished) \_\_\_\_\_

Garage 24'x24' 576 Number of Car Garage 1

STORMWATER SQUARE FOOTAGE: Building Footprint \_\_\_\_\_

PROJECT TOTAL SQUARE FOOTAGE:

Finished 0 + Unfinished 0 + Garage 576 = Total Square Footage 576

DWELLING INFORMATION:

Number of Bedrooms: N/A

Number of Baths: Full 3/4 1/2

Basement Type:  Full  Walk-Out  Daylight

CONSTRUCTION DETAILS:

Roofing Material: ASPHALT

Footing Type: \_\_\_\_\_

Framing Type: 2x4 WOOD FRAME

Exterior Wall Covering: 1/2" PLY 1/2" CEMENT LATH SIDING

PROJECT VALUATION: \$ 5000.00

STAFF USE ONLY

PERMIT COST \$ 88.00

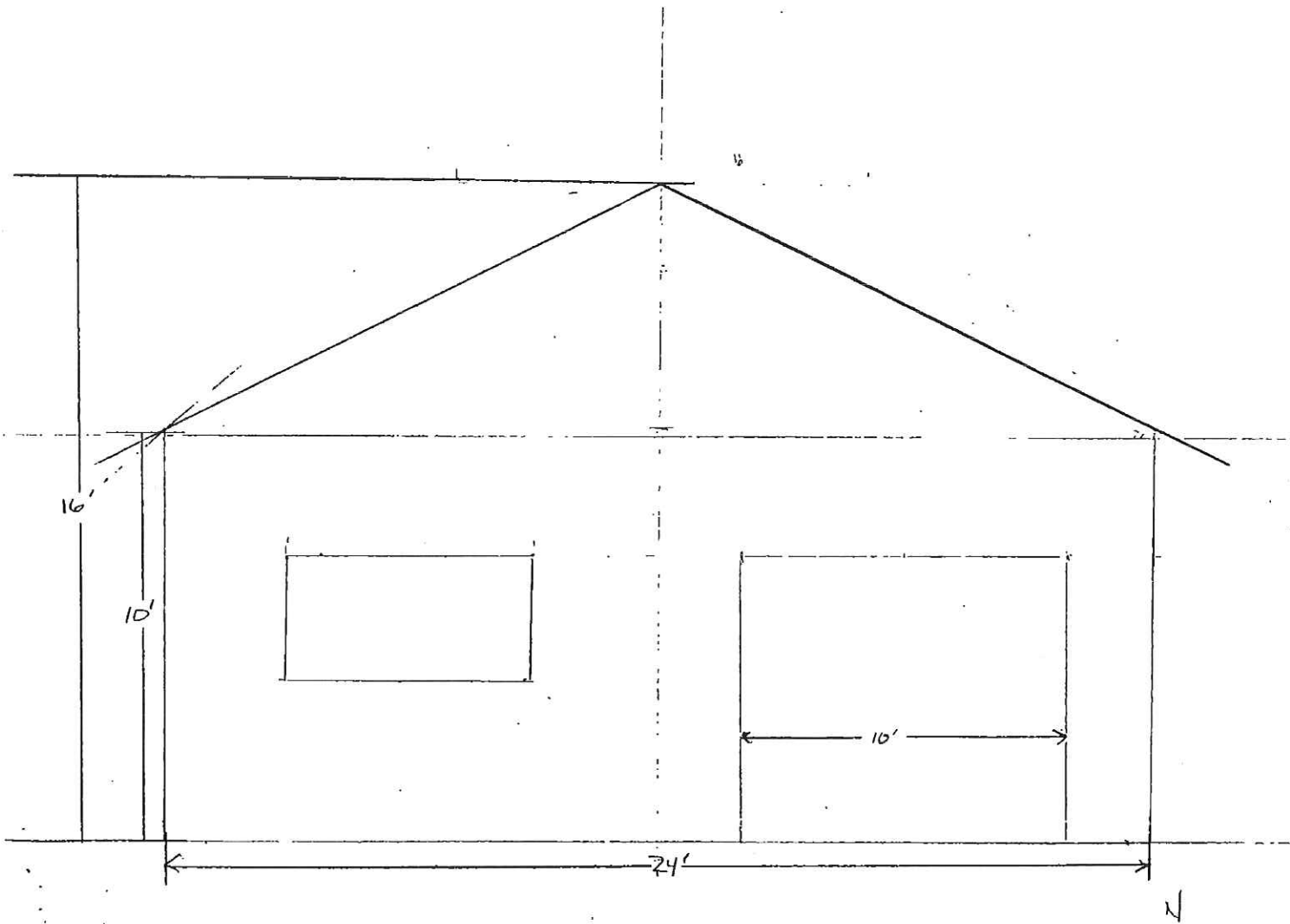
PERMIT NUMBER 36996

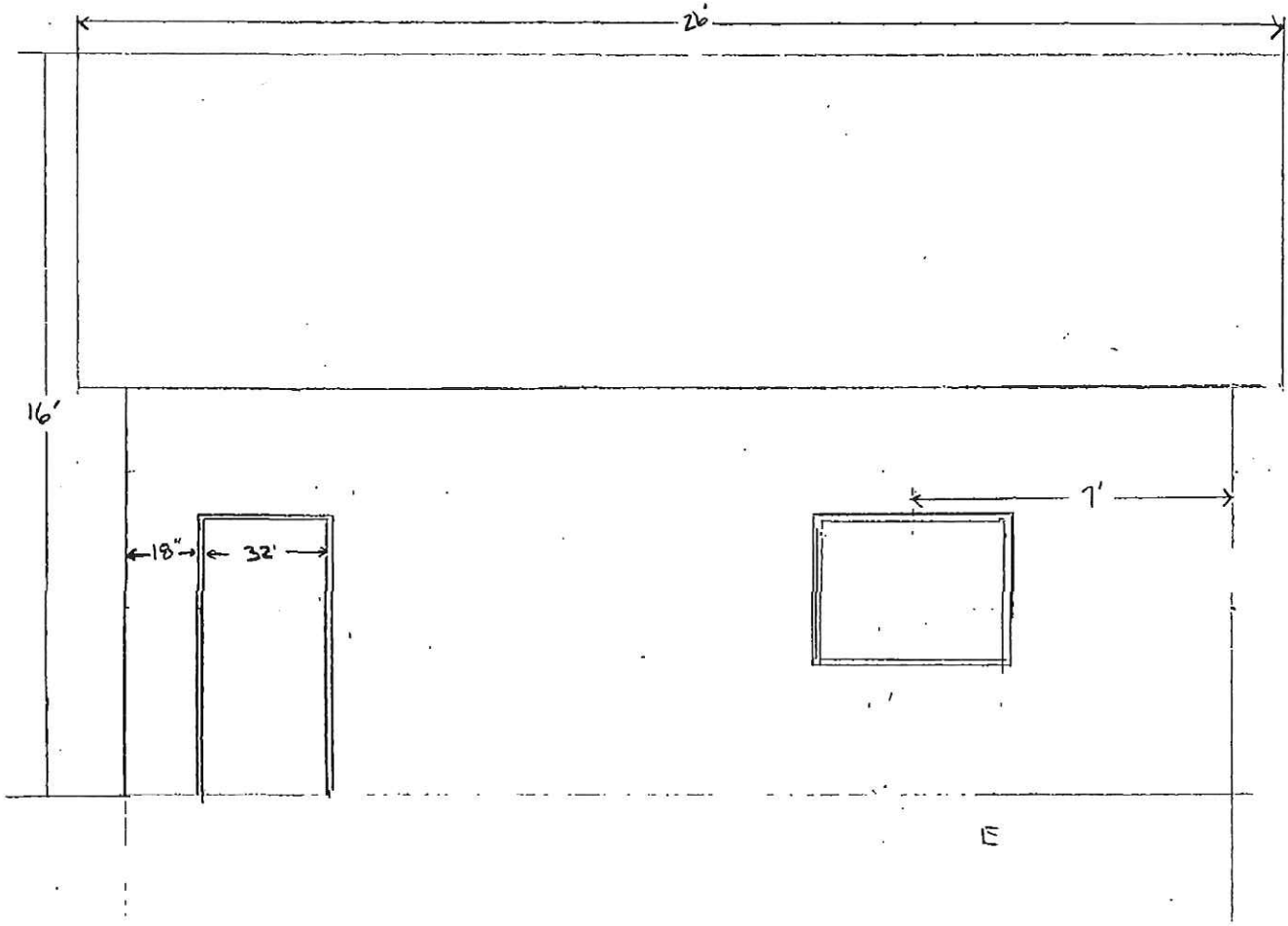
- Final Building Inspection, Final Electric, Final Plumbing, Final Mechanical, Site Plan Approval, Fire Department Final, Framing, Gas Line, Stack-Out, Permanent Service, Rough-in-Electric, Rough-in Mechanical, Sewer, Footing, Temporary Pole, Rough-in Plumbing, Gas Meter, Final Occupancy, Use Group, Const. Type, Hist. App

Structural \_\_\_\_\_ Electrical \_\_\_\_\_ Plumbing \_\_\_\_\_

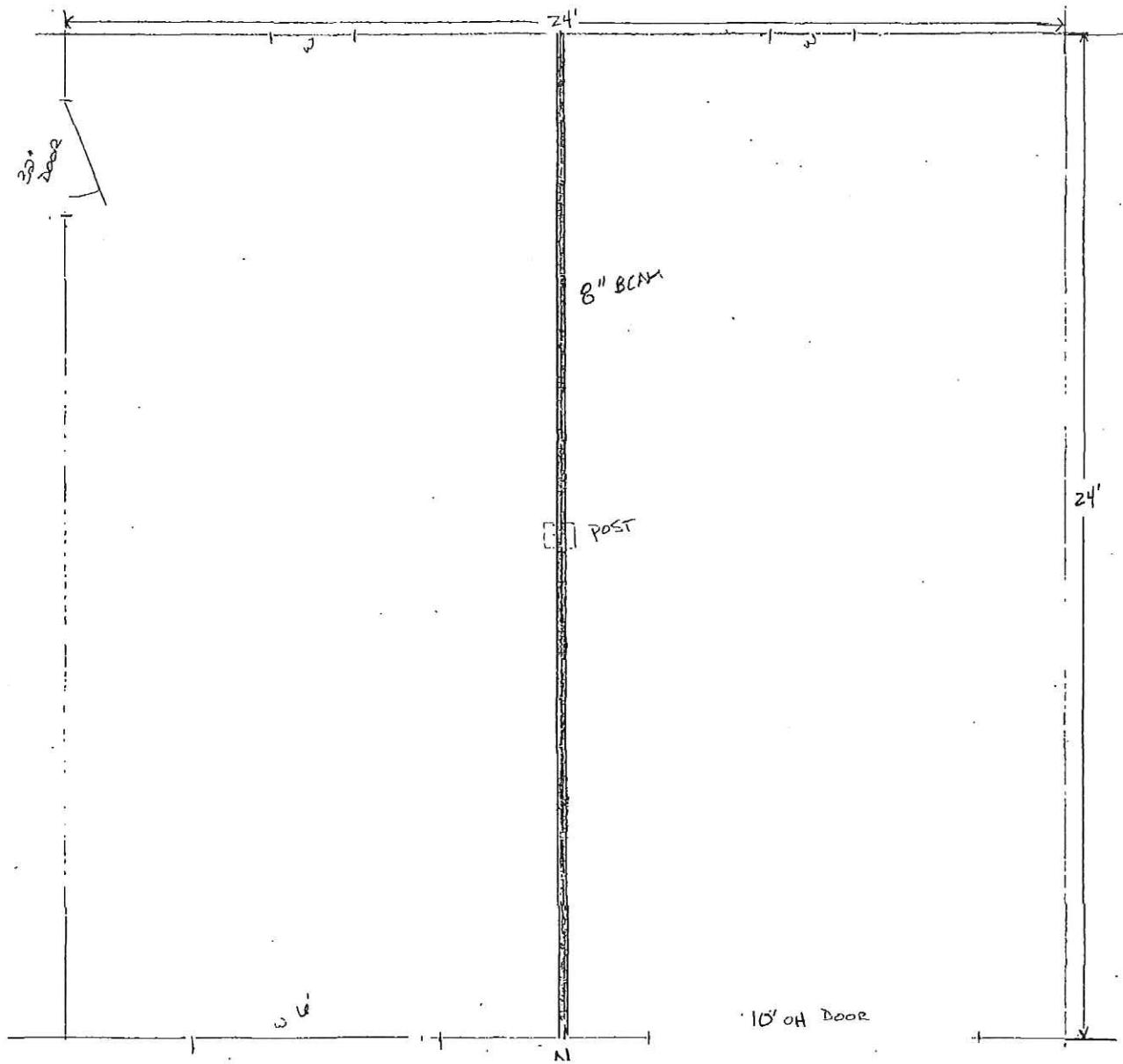
Mechanical \_\_\_\_\_ Fire Department \_\_\_\_\_ Site Plan \_\_\_\_\_

R: 294





F



W

10' OH DOOR

N

# WESTERN SURVEY COMPANY

7525 GARNETT, SHAWNEE, KANSAS 66214  
268-8696

RAY BEAUMONT  
10 MAY 03  
NEW STRUCTURE  
24' x 24'

842-5341  
331-6444  
Review: 294

ORDERED BY: Lomas and Nettleton Financial Group-  
Belmont,  
1823 Barker Avenue  
Lawrence, Kansas

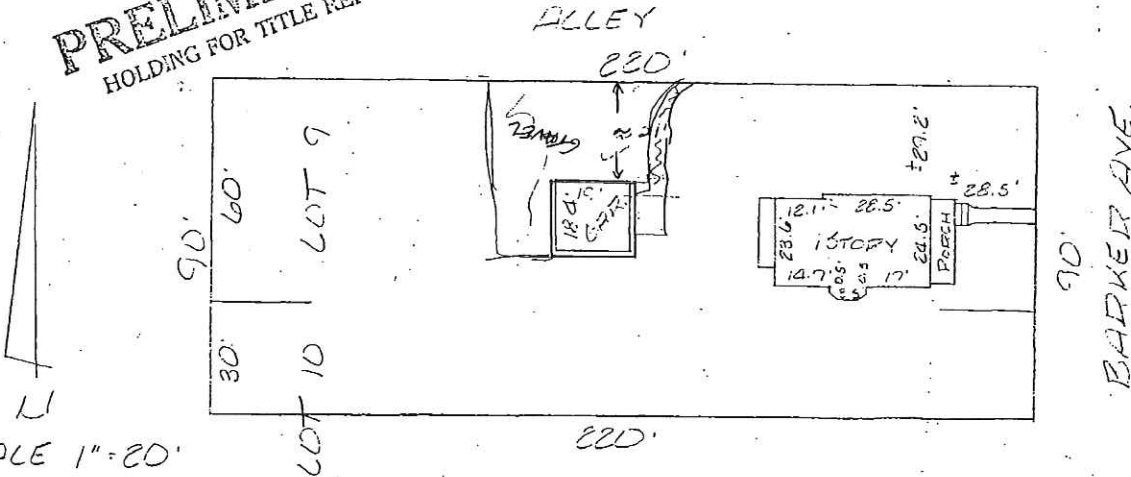
JOB NUMBER 12-17-85-3

DATE: 12-17-85

DESCRIPTION:



**PRELIMINARY**  
HOLDING FOR TITLE REPORT



SCALE 1" = 20'

This certifies that these are the true results of the survey described above. That the location and dimensions of all building improvements, easements or right-of-ways in evidence or known to me, and encroachments on the premises are accurately shown. This survey made for loan purposes only and should not be used for construction of fences or additional improvements.



# CITY OF LAWRENCE, KANSAS

## INSPECTION DIVISION

Phone: (785) 832-3100  
1 Riverfront Plaza  
Lower Level / Suite 110

PERMIT NO: <b>37661</b>		DATE ISSUED: <b>8/05/2003</b>	
PERMIT TYPE: <b>RESD - DEMO (RESIDENTIAL)</b>		PREPARED BY: <b>CARDIN M</b>	
PROJECT ADDRESS		GENERAL CONTRACTOR	
<b>1823 BARKER AVE</b>		<b>RAY BEAUMONT</b>	
LEGAL DESCRIPTION		ELECTRICAL CONTRACTOR	
<b>CRANSON'S SUB BLK 3 LTS 9 &amp; N 1/2 LOT 10</b>			
PROPERTY OWNER'S NAME / ADDRESS		PLUMBING CONTRACTOR	
ZONING		MECHANICAL CONTRACTOR	
ADDITIONAL DESCRIPTION			

**SPECIAL NOTES & RESTRICTIONS:**

**GARAGE**

### REQUIRED INSPECTIONS

FINAL BUILDING	FRAMING	ROUGH-IN ELECTRICAL	SITE PLAN APPROVAL
FINAL ELECTRICAL	FOOTING	ROUGH-IN MECHANICAL	SPECIAL MECHANICAL
FINAL MECHANICAL	GAS LINE	ROUGH-IN PLUMBING	STACK OUT
FINAL OCCUPANCY	GAS METER	<input checked="" type="checkbox"/> SEWER	TEMPORARY POWER
FINAL PLUMBING	PERMANENT SERVICE	SIGN INSPECTION	

I hereby certify that I have read and examined this permit and that the information stated herein is true and correct. I agree to comply with all laws, codes, and ordinances applicable to the work approved hereby and to give prompt and timely notice to the appropriate authority when the required inspections noted above are due to be performed. I accept full responsibility for insuring that all required inspections are performed at the appropriate time, the work approved and that, in the case of new construction, no occupancy of the premises is permitted until authorized by the Building Inspection Division.

APPLICANT'S PHONE NO _____ PRINT NAME _____ SIGNATURE _____	BUILDING INSPECTOR SIGNATURE _____ <b>2/05/2004</b> DATE EXPIRES _____	ESTIMATED VALUATION <b>100</b> PERMIT FEE <b>50.00</b>
--	--	---



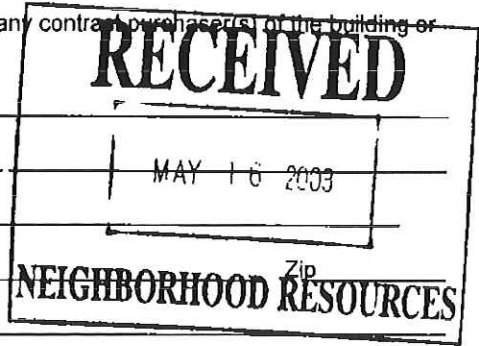
DEMOLITION PERMIT APPLICATION

Building Inspection Division, 1 Riverfront Plaza Suite 110, Lawrence, KS 66044, (785) 832-3100

1. Name, address and telephone number of the current record owner(s) and any contract purchaser(s) of the building or structure.

Name RAY BEAUMONT  
Address 1823 BARKER AV  
City LAWRENCE City  
State KS Zip 66044  
Phone # [REDACTED]

Name \_\_\_\_\_  
Address \_\_\_\_\_  
State \_\_\_\_\_ Zip \_\_\_\_\_  
Phone # \_\_\_\_\_



2. The street address and a brief description of the building.

1823 BARKER AV  
LAWRENCE, KS (GARAGE)

Residential  or Commercial \_\_\_\_\_

3. The legal description of the lot or parcel on which the building or structure is located.

\_\_\_\_\_  
\_\_\_\_\_

4. Name, address, and telephone number of the demolition contractor, if it is someone other than the owner.

Name Self Phone # \_\_\_\_\_  
City \_\_\_\_\_ State \_\_\_\_\_ Zip \_\_\_\_\_

5. Name, address, and telephone number of person, firm, or corporation responsible for the building, if it is someone other than the owner.

Name Self Phone # \_\_\_\_\_  
City \_\_\_\_\_ State \_\_\_\_\_ Zip \_\_\_\_\_

6. Estimated cost of demolition: \$ 0

Date of Application \_\_\_\_\_

7. Signature of current owner(s):

Ray Beaumont  
Print Name

[Signature]

8. Signature of contract purchaser(s):

\_\_\_\_\_  
Print Name

NOTE. Application must be signed by both owner(s) and contract purchaser(s), if applicable.

cc: City Clerk  
City Manager  
Planning Department  
KANU-FM  
Lawrence Journal World  
Neighborhood Contacts  
University Daily Kansan

City Commission  
Crime Prevention Unit  
Gordon Bower  
KLWN-KLZR  
Lawrence Preservation Alliance  
Micky Stremel  
Jackson Clark

37661  
\$50.00

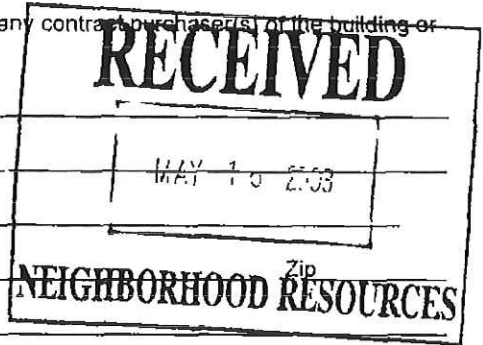
DEMOLITION PERMIT APPLICATION

Building Inspection Division, 1 Riverfront Plaza Suite 110, Lawrence, KS 66044, (785) 832-3100

1. Name, address and telephone number of the current record owner(s) and any contract purchaser(s) of the building or structure.

Name RAY BEAUMONT
Address 1823 BARKER AV
City LAWRENCE City
State KS Zip 66044
Phone # [REDACTED]

Name
Address
State
Phone #



2. The street address and a brief description of the building.

1823 BARKER AV
LAWRENCE, KS (GARAGE)

Residential [X] or Commercial

3. The legal description of the lot or parcel on which the building or structure is located.

[Blank lines for legal description]

4. Name, address, and telephone number of the demolition contractor, if it is someone other than the owner.

Name Self Phone #
City State Zip

5. Name, address, and telephone number of person, firm, or corporation responsible for the building, if it is someone other than the owner.

Name Self Phone #
City State Zip

6. Estimated cost of demolition: \$ 0

Date of Application

7. Signature of current owner(s):

RAY BEAUMONT
Print Name

8. Signature of contract purchaser(s):

Print Name

NOTE: Application must be signed by both owner(s) and contract purchaser(s), if applicable.

- cc: City Clerk
City Manager
Planning Department
KANU-FM
Lawrence Journal World
Neighborhood Contacts
University Daily Kansan

- City Commission
Crime Prevention Unit
Gordon Bower
KLWN-KLZR
Lawrence Preservation Alliance
Micky Stremel
Jackson Clark

PATRICK O'BRIEN
LAWRENCE, KS 66044

## Monica Cardin

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**From:** Krystyna Works  
**Sent:** Wednesday, July 16, 2003 9:30 AM  
**To:** Monica Cardin  
**Subject:** 1823 Barker Ave

Customer request us to contact your department to let you know that there are no lines running to this customers garage so that he can proceed with distruction. The location only has one meter leading to the house not to any out buildings.

Thank you for your time,  
Krystyna Works

Customer Service Rep II  
Lawrence Utility Billing.



# Aquila

**Date** *July 16, 2003*

**Number of pages including cover sheet** *1*

**TO:** *City of Lawrence  
Building Inspection Dept.  
6 East 6th Street  
Lawrence, KS 66044*

**Phone** *(785) 832-3100*

**Fax Phone** *(785) 832-3110*

**FROM:** *Tommy Johnson  
Aquila Networks  
110 East 9th Street  
Lawrence, KS 66044*

**Phone** *(785) 832-3943*

**Fax Phone** *(785) 832-3901*

**CC:**

**REMARKS:**  *Urgent*  *For your review*  *Reply ASAP*  *Please Comment*

**Aquila does not have a gas service line at the following location:**

**1823 Barker Ave (Garage)**

