

GENERAL NOTES

- Existing Zoning: IG (General Industrial District)
- Current Use:
Lot 1, Block 1 Consolidated Lumber Addition: Empty, gravel storage yard with an existing building and covered storage area.

Lot 1, Polk Subdivision: Existing building with a paved parking area in the front and a gravel access in the rear.
- Boundary and Topographic information taken from City GIS data and plats. Easement, property lines, structures, etc. were not field verified via a surveyor.
- No changes will be made to Lot 1 of the Polk Subdivision. An additional building, drive through area, scales, loading dock, outside storage areas and concrete parking area are being added to Lot 1, Block 1 Consolidated Lumber Addition.
- Proposed Concrete Pavement to be 6" reinforced concrete on a 4" granular base.
- This site plan has been designed to comply with the provisions of the Americans with Disabilities Act Accessibility Guidelines (ADAAG) for building and facilities. Appendix A to 28 CFR Part 36.
- Accessible spaces are to be signed and stenciled per Sec. 20-912.
- All mechanical equipment will be screened in accordance with Section 20-1006(b) of the Development Code.
- All traffic control signs placed on private property open to the general public shall comply with the "Manual on Uniform Traffic Control Devices" and "Standard Highway Signs," published by the Federal Highway Administration, with respect to size, shape, color, retroreflectivity, and position.
- Existing water and sanitary location connections for the existing buildings will not change.
- All retaining walls to be segmental block system, unless noted otherwise on the plan.
- All disturbed areas shall be seeded unless noted otherwise.
- Owner to install a Knox Box at the entry of Existing Building 2 for fire safety.
- Refer to Sheet SP-5 for Landscaping Plan. Owner reserves the right to install additional landscaping as they deem necessary and as long as it meets the City of Lawrence Landscape Codes.
- Parking Information:

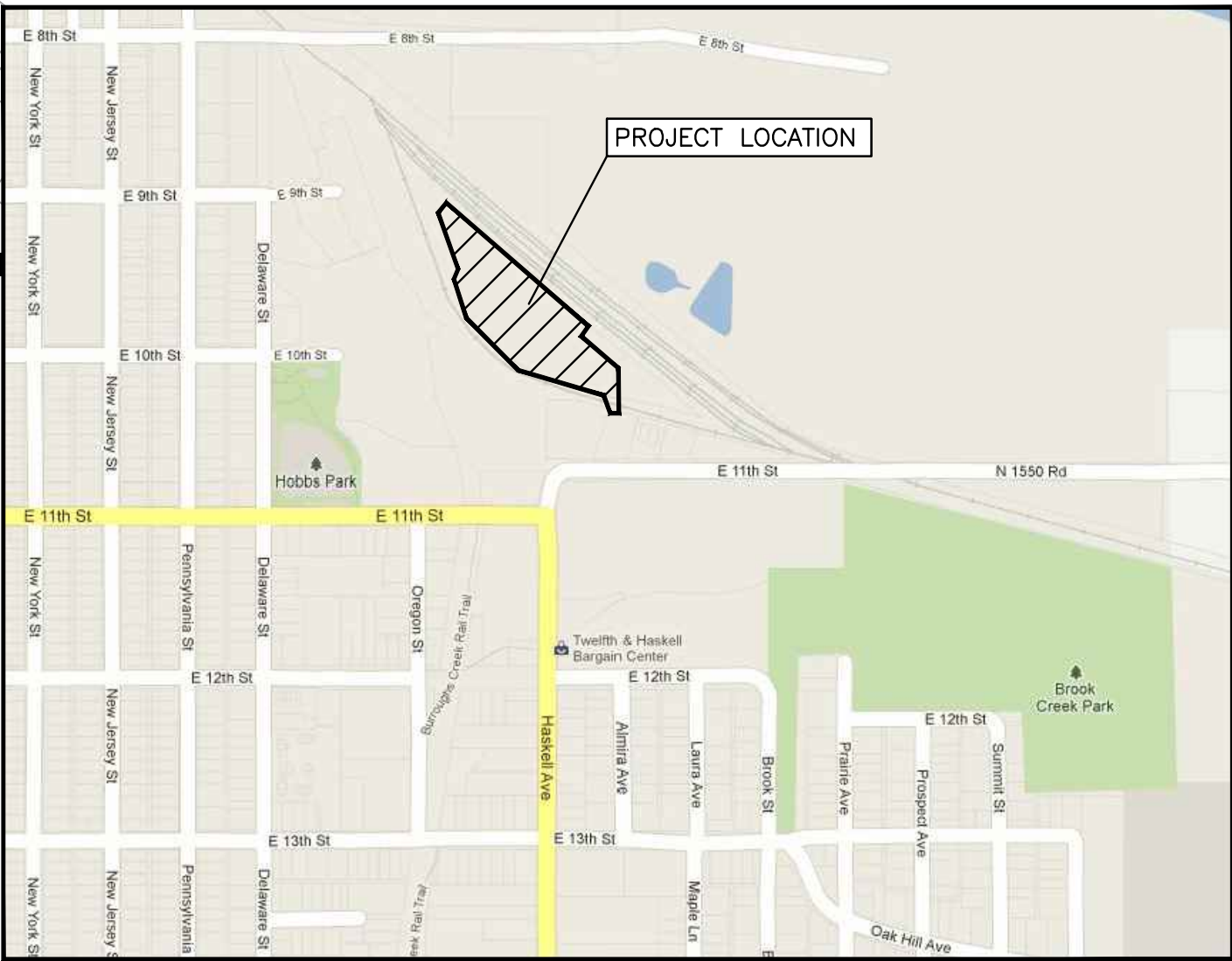
Proposed Parking
Scrap and Salvage Operations Required Parking:
1 Space Per 1 Acre Used in Business
5.26 Acres (Lot Minus Recycling Building and Parking)
= 6 Stalls Required

Recycling-Processing Center Required Parking:
1 Space Per 1,000 Square Feet Floor Area
2,984 SF building = 3 Stalls Required

0 Bicycle Parking Required

Total Parking Required = 9 Stalls

Parking Provided = 11 Stalls (10 + 1 ADA)



LOCATION MAP

NOT TO SCALE

NOT FOR CONSTRUCTION
PLANNING LAYOUT ONLY

SITE SUMMARY

LOT 1, BLOCK 1 CONSOLIDATED LUMBER ADDITION

EXISTING SITE SUMMARY

EXISTING BUILDING:	7,630 SF (0.18 AC.)
EXISTING PAVEMENT:	4,465 SF (0.10 AC.)
TOTAL IMPERVIOUS:	12,095 SF (0.28 AC.)
EXISTING PERVIOUS:	241,884 SF (5.55 AC.)
TOTAL PROPERTY AREA:	253,979 SF (5.83 AC.)

NEW SITE SUMMARY

EXISTING/PROPOSED BLDG:	16,874 SF (0.39 AC.)
PROPOSED PAVEMENT:	8,342 SF (0.19 AC.)
PROPOSED IMPERVIOUS:	25,216 SF (0.58 AC.)
PROPOSED PERVIOUS:	228,763 SF (5.25 AC.)
TOTAL PROPERTY AREA:	253,979 SF (5.83 AC.)

LEGAL DESCRIPTION

LOT 1, BLOCK 1 OF CONSOLIDATED LUMBER ADDITION

A TRACT OF LAND IN THE NORTHEAST QUARTER OF SECTION 31, TOWNSHIP 12 SOUTH, RANGE 20 EAST AND NORTHWEST QUARTER OF SECTION 32, TOWNSHIP 12 SOUTH, RANGE 20 EAST OF THE 6TH P.M., CITY OF LAWRENCE, DOUGLAS COUNTY, KANSAS, CONTAINING 5.83 ACRES MORE OR LESS

PROJECT OWNER/DEVELOPER

ROBERT B. KILLOUGH
1146 HASKELL ST.
LAWRENCE, KS 66044

PAVEMENT SCHEDULE

	EXISTING GRAVEL
	EXISTING CONCRETE PAVEMENT
	PROPOSED 6" REINFORCED CONCRETE
	PROPOSED 4" ADA ACCESSIBLE CONCRETE SIDEWALK

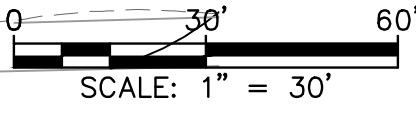
BARTLETT & WEST

12TH & HASKELL RECYCLING CENTER

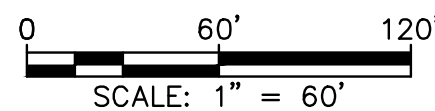
PROPOSED SITE PLAN
1000 EAST 11 ST.
LAWRENCE, KS 66044

DESIGNED BY:	CBC
DRAWN BY:	CBC
APPROVED BY:	DRA
DESIGN PROJ:	18101.000
CONST PROJ:	----
SCALE:	AS NOTED
DATE:	MAY 2012
DRAWING NO:	SP-1
SHEET NO:	1 of 5

LAYOUT



Last edit on: 00/00/00



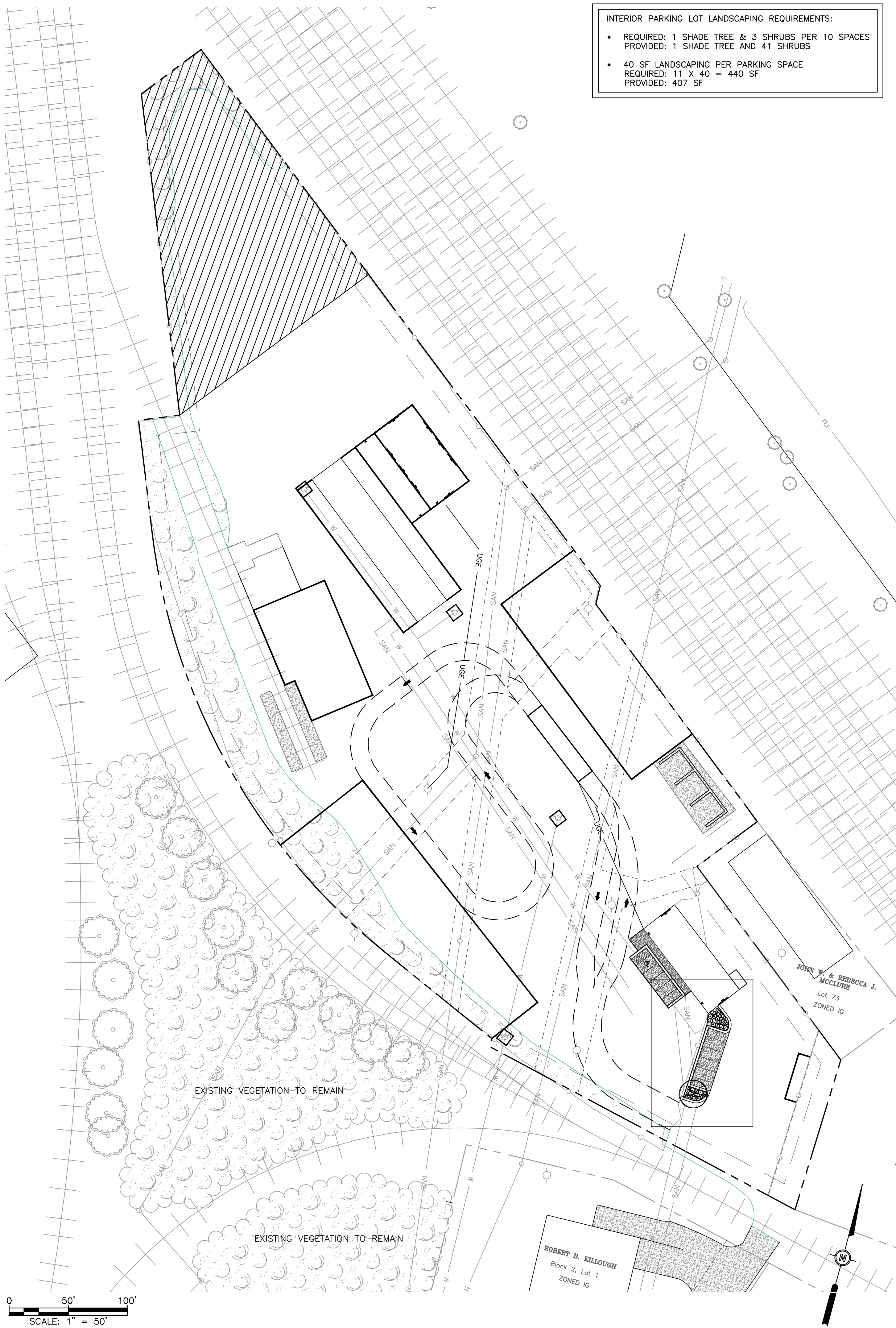
OVERALL LAYOUT

DESIGNED BY:	CBC
DRAWN BY:	CBC
APPROVED BY:	DRA
DESIGN PROJ:	18101.000
CONST PROJ:	-----
SCALE:	AS NOTED
DATE:	MAY 2012
DRAWING NO:	SP-3
SHEET NO:	3 of 5

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Drawing Name: W:\Proj\18000\18101\18101.000\AutoCad\Site Plan\18101.000C_Landscape.dwg Layout Name: SP-Landscape Plotted on: 7/9/2012 5:20:17 PM
Last edit on: 00/00/00

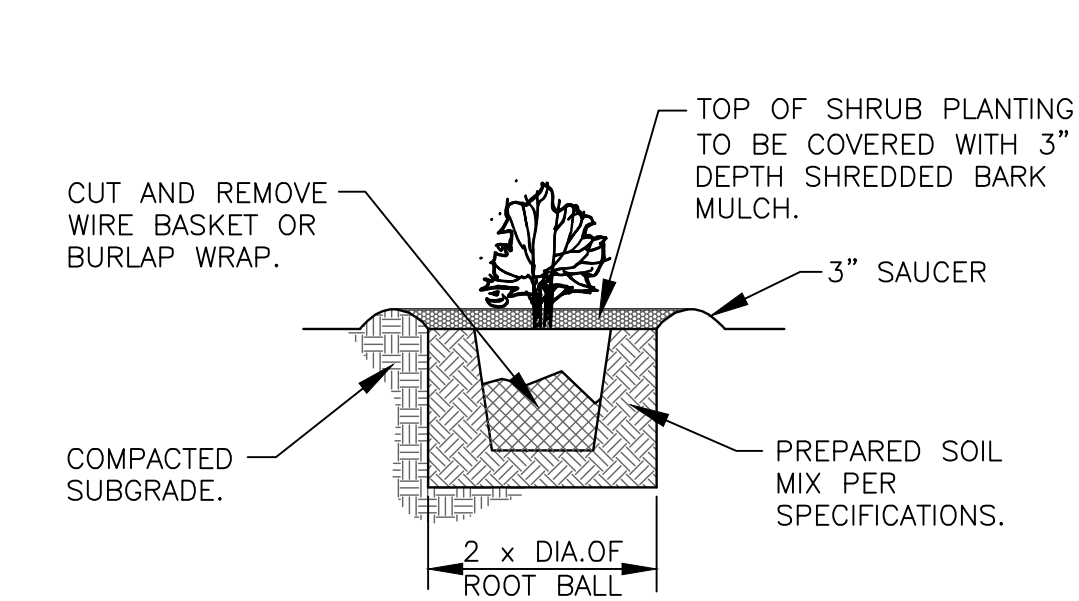


INTERIOR PARKING LOT LANDSCAPING REQUIREMENTS:

- REQUIRED: 1 SHADE TREE & 3 SHRUBS PER 10 SPACES
PROVIDED: 1 SHADE TREE AND 41 SHRUBS
- 40 SF LANDSCAPING PER PARKING SPACE
REQUIRED: 11 X 40 = 440 SF
PROVIDED: 407 SF

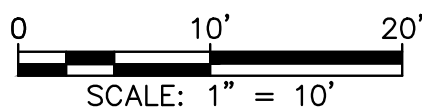
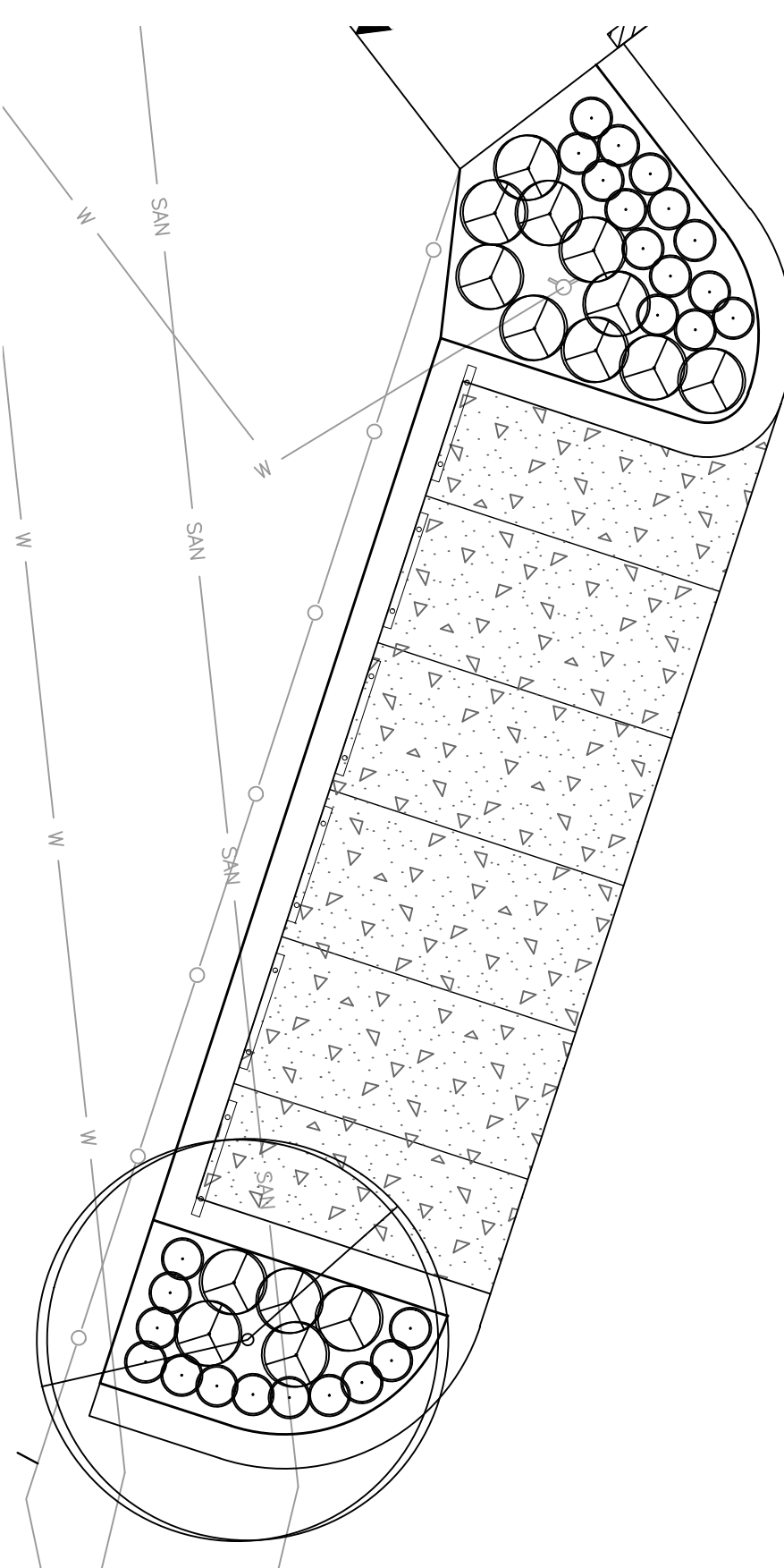
LANDSCAPE NOTES:

- GENERAL CONTRACTOR SHALL GUARANTEE ALL PLANT MATERIAL FOR A PERIOD OF ONE (1) YEAR FROM DATE OF PROJECT SUBSTANTIAL COMPLETION.
- ALL PLANT MATERIALS SHALL MEET MINIMUM REQUIREMENTS SHOWN IN THE "AMERICAN STANDARDS FOR NURSERY STOCK" (ANSI Z60.1-1990).
- EACH TREE AND SHRUB SHALL BE SECURELY LABELED WITH A WATERPROOF TAG INDICATING BOTANICAL NAME AND COMMON NAME FOR DELIVERY TO SITE.
- NO PLANT MATERIAL SHALL BE SUBSTITUTED WITH OUT THE APPROVAL OF THE OWNER. ALL PLANTING LOCATIONS FOR TREES AND SHRUBS SHALL BE FLAGGED BY THE CONTRACTOR AND APPROVED BY THE OWNER, PRIOR TO INSTALLATION.
- ALL DISCREPANCIES AND/OR FIELD CHANGES SHALL BE REPORTED TO THE OWNER FOR APPROVAL PRIOR TO IMPLEMENTATION. WHEN CONDITIONS DETRIMENTAL TO PLANT GROWTH ARE ENCOUNTERED, SUCH AS RUBBLE FILL, ADVERSE DRAINAGE CONDITIONS OR OBSTRUCTIONS, LANDSCAPE CONTRACTOR SHALL NOTIFY THE OWNER BEFORE PLANTING.
- THE GENERAL CONTRACTOR SHALL VERIFY LOCATION OF AND PROTECT ALL UTILITIES AND STRUCTURES. DAMAGE TO UTILITIES AND STRUCTURES SHALL BE REPAIRED BY THE GENERAL CONTRACTOR TO THE SATISFACTION OF THE OWNER.
- THE LANDSCAPE CONTRACTOR SHALL COORDINATE ALL WORK WITH OTHER CONTRACTORS ON SITE THROUGHOUT THE CONSTRUCTION PROCESS.
- ALL SHRUB AND TREE PLANTING AREAS SHALL BE EXCAVATED AND BACK-FILLED WITH PLANT MIX. PROVIDE FERTILIZER WITH NOT LESS THAN 5% TOTAL NITROGEN, 10% AVAILABLE PHOSPHORIC ACID AND 5% SOLUBLE POTASH. DISCARD SUBSOIL REMOVED FROM PLANTING AREA EXCAVATION; DO NOT MIX WITH PLANT MIX OR USE AS BACK-FILL. SEE DETAILS FOR COMPLETE PLANTING PREPARATION. PREPARE PLANTING AREAS AND INSTALL PLANTS COMPLETELY, PRIOR TO SEEDING.
- PLANT MIX SHALL CONSIST OF TOPSOIL COMPLETELY FREE OF DEBRIS, ROCK IN EXCESS OF 1" IN DIAMETER, STICKS AND CLAY. MIX ONE PART COMPOSTED STABLE MANURE AND THREE PARTS TOPSOIL WITH FERTILIZER AS SPECIFIED ABOVE.
- ALL SHRUBS SHALL BE INSTALLED IN PROPOSED PLANTING BEDS AND COVERED WITH SHREDDED BARK MULCH OR ACCEPTABLE MATERIAL APPROVED BY THE OWNER.
- ALL PLANTED SURFACES SHALL RECEIVE EMULSION TYPE, FILM FORMING, ANTI-DESSICANT AGENT DESIGNED TO PERMIT TRANSPIRATION, BUT RETARD EXCESSIVE LOSS OF MOISTURE FROM PLANTS. ANTI-DESSICANT TO BE DELIVERED IN MANUFACTURER'S FULLY IDENTIFIED CONTAINERS AND MIXED IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS. APPLY PRIOR TO APPLICATION OF MULCH.
- ALL DISTURBED AREAS NOT DESIGNATED AS PAVEMENT OR PLANTING BEDS SHALL BE SEEDED WITH TURF TYPE TALL FESCUE BLEND OR APPROVED EQUAL AT THE DIRECTION OF THE OWNER. ALL TURF AREAS SHALL CONSIST OF A MINIMUM 8" THICKNESS TOPSOIL FREE OF CLAY, DEBRIS, STICKS OR ROCKS IN EXCESS OF 1" IN DIAMETER. ALL TOPSOIL AREAS SHALL BE FINE GRADED AND RAKED, REMOVING RIDGES AND FILLING DEPRESSIONS AS REQUIRED TO MEET FINISHED GRADES AND CREATE POSITIVE DRAINAGE AWAY FROM BUILDINGS. PRIOR TO SEEDING, MOISTEN PREPARED TOPSOIL IF GROUND IS DRY. AFTER ONE MONTH FOLLOWING SEEDING, APPLY FERTILIZER AT THE MANUFACTURER'S RECOMMENDED RATE FOR NEWLY ESTABLISHED LAWNS. AFTER TWO MONTHS FOLLOWING SEEDING, APPLY GYPSUM AT THE RATE OF 100 LBS. PER 1000 SQ. FEET. THE GENERAL CONTRACTOR SHALL MAINTAIN ALL PLANTED OR TURF AREAS THROUGHOUT THE WARRANTY PERIOD AND SHALL PERFORM OPERATIONS SUCH AS ROLLING, REGRADING, RESEEDING, AND/OR REPLANTING AS REQUIRED TO ESTABLISH A SMOOTH TURF SURFACE, FREE OF ERODED OR BARE AREAS TO THE SATISFACTION OF THE OWNER.
- ALL UTILITY INFORMATION SHOWN HEREIN IS BASED ON THE INFORMATION AVAILABLE TO THE ENGINEER AT THE TIME OF DESIGN. THE CONTRACTOR SHALL VERIFY ALL UTILITY DEPTHS AND LOCATIONS PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING ALL UTILITY COMPANIES TO FIELD LOCATE AND/OR ADJUST THEIR UTILITY AS REQUIRED FOR CONSTRUCTION. ALL UTILITY LOCATIONS SHOWN ON THE PLANS ARE APPROXIMATE AND THE ENGINEER ASSUMES NO LIABILITY FOR SAME.
- CONTRACTOR SHALL BE RESPONSIBLE FOR CALCULATING THE AREAS AND QUANTITIES OF SEED NEEDED FOR OPTIMUM COVERAGE.
- ALL EDGING IS A NATURAL EARTH EDGE AS SHOWN, CONSTRUCTED WITH A SHARPSHOOTER OR OTHER SUITABLE IMPLEMENT. LINES AND CURVES SHALL BE CONTINUOUS AND SMOOTH, MEETING THE DESIGN INTENT SHOWN ON THE DRAWINGS.
- REMOVE ANY EXCESS SOIL AND DEBRIS FROM AREA AND DISPOSE OF IN AN APPROVED MANNER.
- SPACING SHOWN FOR PLANTS IS FOR INFORMATION ONLY AND SHALL BE ADJUSTED AS REQUIRED TO PROVIDE UNIFORM SPACING WITHIN PLANTING BEDS.

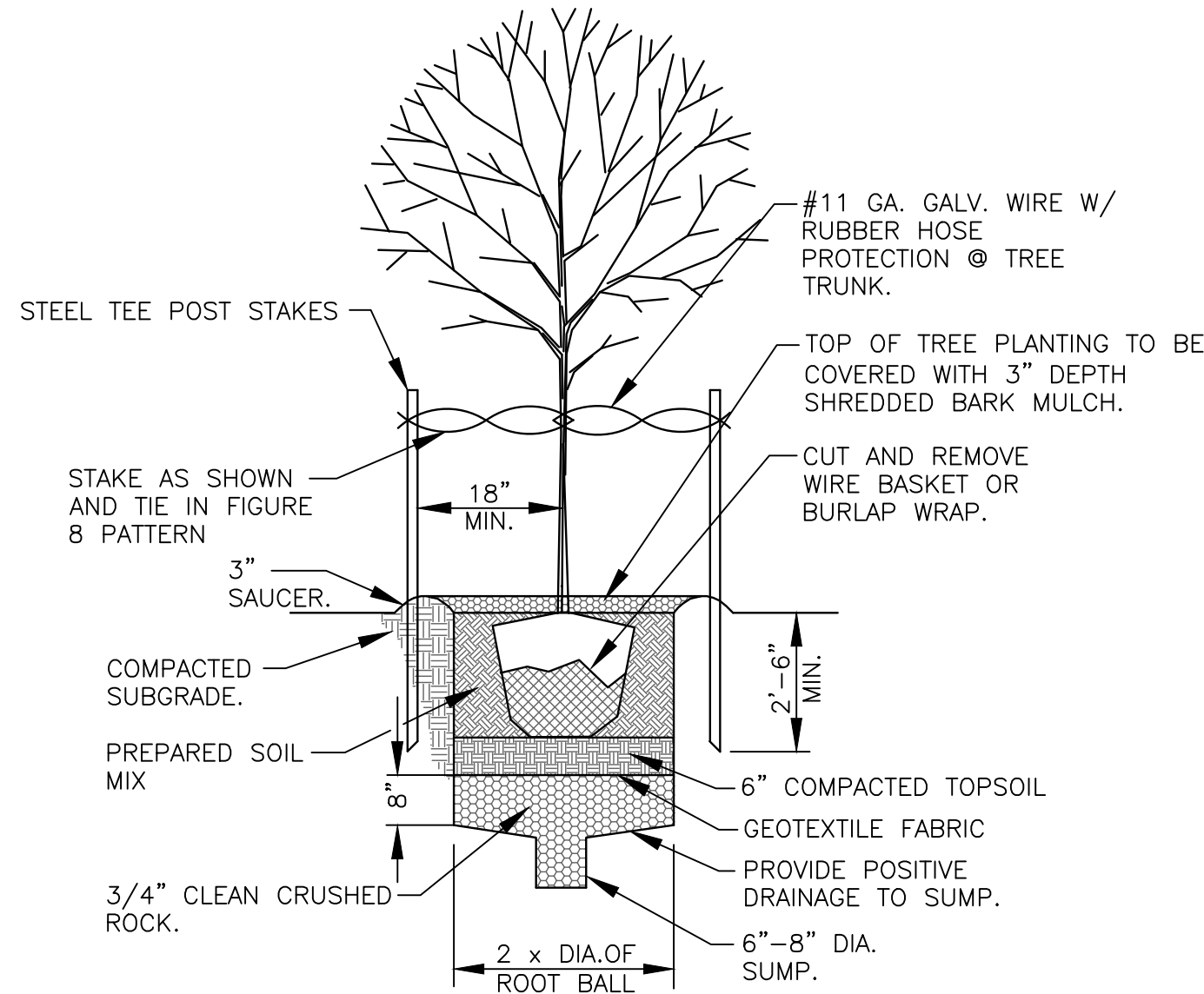


SHRUB PLANTING DETAIL

NTS



ENLARGED AREA



TREE PLANTING & STAKING DETAIL

NTS

PLANT SCHEDULE

SYMBOL	Name	Qty.	Size	Cond.
Trees				
	Pacific Sunset Maple <i>Acer truncatum</i> 'Warrensred'	1	2.5" Cal. Min.	B&B
Shrubs/Grasses				
	Arcadia Juniper- <i>Juniperus sabina</i> 'Arcadia'	15	5 Gal.	Cont.
	The Blues Little Bluestem- <i>Schizachyrium scoparium</i> 'The Blues'	26	1 Gal.	Cont.

Future Proposed Planting Palette: Per Owner's Discretion

Trees	Shrubs/Perennials/Ornamental Grasses	Tall Grass Prairie Seed Mix: 12 LBS/AC Grasses: 10 LBS/AC
Thornless Honeylocust <i>Gleditsia trachanthos</i> var. <i>inermis</i> 'Shademaster'	Lilac <i>Syringa vulgaris</i>	Big Bluestem <i>Andropogon gerardii</i>
Sawtooth Oak <i>Quercus acutissima</i>	Autumn Fire Stonecrop <i>Sedum</i> x 'Autumn Fire'	Little Bluestem <i>Schizachyrium scoparium</i>
Autumn Fantasy Maple <i>Acer freemanii</i> 'Autumn Fantasy'	Apricot Sprite Hyssop <i>Agastache aquatica</i> 'Apricot Sprite'	Side Oats Grama <i>Bouteloua curtipendula</i>
Eastern Redbud <i>Cercis canadensis</i>	Peking cotoneaster <i>Cotoneaster acutifolia</i>	Switchgrass <i>Panicum virgatum</i>
Vanderwolf's Pyramid Pine <i>Pinus flexilis</i> 'Vanderwolf's Pyramid'	Mint Julep Juniper <i>Juniperus chinensis</i> 'Monlep'	Indian Grass <i>Sorghastrum nutans</i>
Hollywood Juniper <i>Juniperus chinensis</i> 'Torulosa'	Color Guard Adam's Needle <i>Yucca filamentosa</i> 'Color Guard'	Forbs: 2 LBS/AC Purple Prairie Clover <i>Dalea purpurea</i>
	Dallas Blues Switch Grass <i>Panicum virgatum</i> 'Dallas Blues'	Gray Headed Coneflower <i>Rudbeckia hirta</i>
		Blackeyed Susan <i>Rudbeckia hirta</i>
		Prairie Blazing Star <i>Liatris pycnostachya</i>

**Sample xeriscape planting palette. Owner to make substitutions as necessary to accommodate planting locations and conditions.

LANDSCAPE PLAN

BARTLETT & WEST

12TH & HASKELL RECYCLING CENTER

PROPOSED SITE PLAN
1000 EAST 11 ST.
LAWRENCE, KS 66044

DESIGNED BY:	KED
DRAWN BY:	KED
APPROVED BY:	DRA
DESIGN PROJ:	18101.000
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